

**City of Apopka
Planning Commission
Meeting Agenda
February 09, 2016**

5:30 PM @ CITY COUNCIL CHAMBERS

I. CALL TO ORDER

If you wish to appear before the Planning Commission, please submit a "Notice of Intent to Speak" card to the Recording Secretary.

II. OPENING AND INVOCATION

III. APPROVAL OF MINUTES:

- 1 Approve minutes of the Planning Commission regular meeting held January 12, 2016, at 5:30 p.m.

IV. PUBLIC HEARING:

1. COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT – Owned by Apopka Holdings, LLC, from "County" Low Density Residential (0-4 du/ac) to "City" Office (Max. FAR 0.30), for property located at 1120 Clarcona Road and 1124 S. Park Avenue. (Parcel ID #s: 09-21-28-0197-10-211 & 09-21-28-0197-10-213)
2. CHANGE OF ZONING – Owned by Apopka Holdings, LLC, from "County" R-3 (Residential) to "City" Planned Unit Development (PUD/PO/I & Residential), for property located at 1120 Clarcona Road and 1124 S. Park Avenue. (Parcel ID #s: 09-21-28-0197-10-211 & 09-21-28-0197-10-213)

V. SITE PLANS:

1. FINAL DEVELOPMENT PLAN –Wekiva Riverwalk Daycare Center – Owned by Woolbright Wekiva, LLC, and located at 2121 East Semoran Boulevard. (Parcel ID #: 12-21-28-9093-00-010)

VI. OLD BUSINESS:

VII. NEW BUSINESS:

VIII. ADJOURNMENT:

All interested parties may appear and be heard with respect to this agenda. Please be advised that, under state law, if you decide to appeal any decision made by the City Council with respect to any matter considered at this meeting or hearing, you will need a record of the proceedings, and that, for such purpose, you may need to ensure that a verbatim record of the proceedings is made, which record includes a testimony and evidence upon which the appeal is to be based. The City of Apopka does not provide a verbatim record.

In accordance with the American with Disabilities Act (ADA), persons with disabilities needing a special accommodation to participate in any of these proceedings should contact the City Clerk's Office at 120 East Main Street, Apopka, FL 32703, telephone (407) 703-1704, no less than 48 hours prior to the proceeding.

Backup material for agenda item:

- 1 Approve minutes of the Planning Commission regular meeting held January 12, 2016, at 5:30 p.m.

MINUTES OF THE PLANNING COMMISSION MEETING HELD ON JANUARY 12, 2016, AT 5:30 P.M. IN THE CITY COUNCIL CHAMBERS, APOPKA, FLORIDA.

MEMBERS PRESENT: James Greene, Robert Ryan, Jeremiah Jaspon, Linda Laurendeau, and Pam Toler

ABSENT: Melvin Birdsong, Tony Foster, Orange County Public Schools (Non-voting)

OTHERS PRESENT: David Moon, AICP - Planning Manager, Kyle Wilkes, AICP - Planner II, Andrew Hand, Esq., Suzanne Kidd, Doug Bankson, Huy Tran, Ed Velazquez, Teresa Sargeant, and Jeanne Green – Community Development Department Office Manager/Recording Secretary.

OPENING AND INVOCATION: Mr. Greene called the meeting to order and asked for a moment of silent prayer. The Pledge of Allegiance followed.

ELECTION OF OFFICERS:

CHAIRPERSON:

MOTION: Pam Toler nominated James Greene as Chairperson of the Planning Commission and seconded by Linda Laurendeau. Aye votes were cast by James Greene, Robert Ryan, Jeremiah, Linda Laurendeau, and Pam Toler (5-0).

VICE - CHAIRPERSON:

MOTION: James Greene nominated Robert Ryan as Vice-Chairperson of the Planning Commission and seconded by Jeremiah Jaspon. Aye votes were cast by James Greene, Robert Ryan, Jeremiah, Linda Laurendeau, and Pam Toler (5-0).

APPROVAL OF MINUTES: Chairperson Greene asked if there were any corrections or additions to the regular meeting minutes of December 8, 2015, at 5:01 p.m. minutes.

Motion: Jeremiah Jaspon made a motion to approve the Planning Commission minutes from the meeting held on December 8, 2015, regular meeting at 5:01 and seconded by Robert Ryan. Aye votes were cast by James Greene, Robert Ryan, Jeremiah, Linda Laurendeau, and Pam Toler (5-0).

SWEARING-IN - Mr. Hand swore-in staff, the petitioners, and affected parties.

LEGISLATIVE - COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT

- Chairperson Greene stated this is a request to recommend approval of the Small Scale Future Land Use amendment from “County” Residential Low Density (0-4 du/ac) to “City” Residential Low (0-5 du/ac), for property owned by the Huy Tran and Hai Anh Nguyen and located at 904 Schopke Lester Road.

Staff Presentation: Kyle Wilkes, AICP, Planner II, stated this is a request to recommend approval of the Comprehensive Plan Small Scale Future Land Use amendment from “County” Residential Low Density (0-4 du/ac) to “City” Residential Low (0-5 du/ac), for property owned by the Huy Tran and Hai Anh Nguyen and located at 904 Schopke Lester Road. The existing and proposed use is a single-family residence and aquaponics. The tract size is 4.42 +/- acres. The existing maximum allowable development is 8 units and the proposed maximum allowable development is 1 unit.

Presently, the subject property has not yet been assigned a “City” Future Land Use Designation or a “City” zoning category. Applicant is requesting the City to assign a future land use designation of Residential Low (0 – 5 du/acre) to the property.

The subject property was annexed into the City of Apopka on December 2, 2015, through the adoption of Ordinance No. 2460. The proposed Small-Scale Future Land Use Amendment is being requested by the owner/applicant. Pursuant to Florida law, properties containing less than ten acres are eligible to be processed as

a small-scale amendment. Such process does not require review by State planning agencies.

A request to assign a Future Land Use Designation of Residential Low is compatible with the designations assigned to abutting properties. The FLUM application covers approximately 4.42 acres.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this land use change (see attached Land Use Report).

The existing and proposed use of the property is consistent with the Residential Low (0-5 du/ac) Future Land Use designation and the City's proposed AG-E Zoning classification. Site development cannot exceed the intensity allowed by the Future Land Use policies.

The proposed rezoning will not result in an increase in the number of residential units which could be developed at the subject property. A capacity enhancement agreement with OCPS is not necessary because the impacts on schools will be de minimus.

The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on December 11, 2015.

The Development Review Committee finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommends approval of the change in Future Land Use from "County" Low Density Residential (0-4 du/ac) to "City" Residential Low (0-5 du/ac) for the property owned by Huy Train and Hai Anh Nguyen and located at 904 Schopke Lester Road.

This item is considered Legislative. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

LAND USE REPORT

Land Use Analysis:

The general character of the area surrounding the subject property is compatible with the development of residential uses. The property lies south of West Schopke Lester Road and north of West Highland Avenue.

Wekiva River Protection Area: No
Area of Critical State Concern: No
DRI / FQD: No

JPA: The City of Apopka and Orange County entered into a Joint Planning Area (JPA) agreement on October 26, 2004. The subject property is located within "Core Area" of the JPA.

Wekiva Parkway and Protection Act: The proposed amendment has been evaluated against the adopted Wekiva Study Area Comprehensive Plan policies. While located within the Wekiva River Basin Study Area, the subject property is not located within the Protection Area. The proposed amendment is consistent with the adopted mandates and requirements. The proposed Future Land Use Map (FLUM) amendment has been reviewed against the best available data, with regard to aquifer and groundwater resources. The City of Apopka's adopted Comprehensive Plan addresses aquifer recharge and stormwater run-off through the following policies:

- Future Land Use Element, Policies 4.16, 14.4, 15.1, 16.2 and 18.2
- Infrastructure Element, Policies 1.5.5, 4.2.7, 4.4, 4.4.1, 4.4.2 and 4.4.3
- Conservation Element, Policy 3.18

Karst Features: The Karst Topography Features Map from the Florida Department of Environmental Protection shows that there are no karst features on this property.

Analysis of the character of the Property: The Property fronts Schopke Lester Rd. The vegetative communities present are urban; the soils present are Candler fine sand; and no wetlands occur on the site, and the terrain has a 5-12 percent slope.

The proposed amendment is consistent with the Comprehensive Plan, including Policy 3.1.e Residential Low Future Land Use designation.

Analysis of the relationship of the amendment to the population projections: The proposed future land use designation for the Property is Residential Low (0-5 du/ac). Based on the housing element of the City's Comprehensive Plan, this amendment will increase the City's future population.

CALCULATIONS:

ADOPTED (City designation): 18 Unit(s) x 2.659 p/h = 48 persons
PROPOSED (City designation): 22 Unit(s) x 2.659 p/h = 59 persons

Housing Needs: This amendment will negatively impact the housing needs as projected in the Comprehensive Plan.

Habitat for species listed as endangered, threatened or of special concern: Per policy 4.1 of the Conservation Element, a habitat study is required for developments greater than ten (10) acres in size. This site is less than ten acres. A habitat study will not be required at the time of a development plan application.

Transportation: The City of Apopka is a Transportation Concurrency Exception Area. Refer to Chapter 3 of the City of Apopka 2010 Comprehensive Plan.

Potable Water, Reclaimed Water & Sanitary Sewer Analysis: The subject property is located within the Orange County Utilities service area for potable water, reclaimed water and sanitary service. The property owner will need to provide a letter from Orange County Utilities demonstrating available capacity prior to submittal of any development plan.

Sanitary Sewer Analysis

1. Facilities serving the site; current LOS; and LOS standard: None; 81 GPD/Capita;
81 GPD / Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 3528 GPD
3. Projected total demand under proposed designation: 4312 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 81 GPD/Capita
6. Projected LOS under proposed designation: 81 GPD/Capita
7. Improved/expansions already programmed or needed as a result if proposed amendment: None

Potable Water Analysis

1. Facilities serving the site; current LOS; and LOS standard: City of Apopka; 177 GPD/Capita;
177 GPD/Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 3780 GPD
3. Projected total demand under proposed designation: 4620 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 177 GPD/Capita
6. Projected LOS under proposed designation: 177 GPD/Capita
7. Improved/expansions already programmed or needed as a result of the proposed amendment: None
8. Parcel located within the reclaimed water service area: Yes

Solid Waste

1. Facilities serving the site: City of Apopka
2. If the site is not currently served, please indicate the designated service provider: City of Apopka
3. Projected LOS under existing designation: 192 lbs./person/day
4. Projected LOS under proposed designation: 236 lbs./person/day
5. Improved/expansions already programmed or needed as a result of the proposed amendment: None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

Drainage Analysis

1. Facilities serving the site: Lake Standish
2. Projected LOS under existing designation: 25 year - 96 hour design storm
3. Projected LOS under proposed designation: 25 year - 96 hour design storm
4. Improvement/expansion: On-site retention/detention pond

Recreation

1. Facilities serving the site; LOS standard: City of Apopka Parks System; 3 AC/1000 capita
2. Projected facility under existing designation: 0.144 AC
3. Projected facility under proposed designation: 0.177 AC
4. Improvement/expansions already programmed or needed as a result of the proposed amendment: None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

MINUTES OF THE PLANNING COMMISSION REGULAR MEETING HELD ON JANUARY 12, 2016, AT 5:30 P.M.

In response to a question by Mr. Jaspon, Huy Tran, 904 Schopke Lester Road, stated that the use of the property would remain the same. He stated that Aquaponics is the merging together of aquaculture and hydroponics. The way the system works is the nutrients from the fish water is pumped through the hydroponic system and then back to the fish tank. He said this could be an opportunity for Apopka to get back into agriculture.

In response to a question by Ms. Toler, Mr. Tran stated that eventual he would like to offer tours on his facility.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

Motion: Pam Toler made a motion to recommend approval of the Comprehensive Plan Small Scale Future Land Use amendment from “County” Residential Low Density (0-4 du/ac) to “City” Residential Low (0-5 du/ac), for property owned by Huy Tran and Hai Anh Nguyen and located at 904 Schopke Lester Road, subject to the information and findings in the staff report; and Jeremiah Jaspon seconded the motion. Aye votes were cast by James Greene, Robert Ryan, Jeremiah Jaspon, Linda Laurendeau, and Pam Toler (5-0). (Vote taken by poll.)

QUASI-JUDICIAL - CHANGE OF ZONING – CITY OF APOPKA - Chairperson Greene stated this is a request to recommend approval of the Change of Zoning from “County” A-1 (ZIP) to “City” AG-E (Agricultural Estate), for property owned by Huy Tran and Hai Anh Nguyen and located at 904 Schopke Lester Road.

Chairperson Greene asked if there were any affected parties in attendance that wished to speak. No one spoke.

Chairperson Greene asked if the Commission members had any ex parte communications to divulge regarding this item. None.

Staff Presentation: Mr. Wilkes stated this is a request to recommend approval of the Change of Zoning from “County” A-1 (ZIP) to “City” AG-E (Agricultural Estate), for property owned by Huy Tran and Hai Anh Nguyen and located at 904 Schopke Lester Road.

Presently, the subject property has not yet been assigned a “City” Future Land Use Designation or a “City” zoning category. Applicant is requesting the City to assign a zoning classification of AG-E to the property.

The subject property was annexed into the City of Apopka on December 2, 2015, through the adoption of Ordinance No. 2460. The proposed change of zoning is being requested by the owner/applicant.

A request to assign a change of zoning to AG-E is compatible to the adjacent zoning classifications and with the general character of abutting properties and surrounding area. The property owner is requesting the AG-E zoning classification to accommodate the use of an existing single-family residential home, as well as an aquaponics garden for hobby use. According to the Merriam-Webster Dictionary, aquaponics is a “system of growing plants in the water that has been used to cultivate aquatic organisms,” which normally includes fish. The systems use a closed-loop system in which plants are grown in water tank systems concurrently with fish. The fish waste is used to fertilize the plants, which helps to reduce the need for fertilizer and reduces water use, according the University of Florida. The property owner intends to have an aquaponic garden for hobby use only, not for commercial sales which makes the use compatible with the requested AG-E zoning district.

The change of zoning application covers approximately 4.42 acres.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this land use change (see attached Zoning Report).

The existing and proposed use of the property is consistent with the Residential Low (0-5 du/ac) Future Land Use

designation and the City's proposed AG-E Zoning classification. Site development cannot exceed the intensity allowed by the Future Land Use policies.

The proposed rezoning will not result in an increase in the number of residential units which could be developed at the subject property. A capacity enhancement agreement with OCPS is not necessary because the impacts on schools will be de minimus.

The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on December 11, 2015.

The Development Review Committee finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommends approval of the change in zoning from "County" A-1 (ZIP) to "City" AG-E (Agricultural Estate) for the property owned by Huy Train and Hai Anh Nguyen, located at 904 Schopke Lester Road.

This item is considered Quasi-Judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT

Land Use & Traffic Compatibility: The subject property fronts and is accessed by a local roadway (Schopke Lester Road).

Comprehensive Plan Compliance: The proposed AG-E zoning is consistent with the City's Residential Low (0 - 5 du/acre) Future Land Use designation and with the character of the surrounding area and future proposed development. The AG-E zoning classification is one of the acceptable zoning categories allowed within the Residential Low Future Land Use category. Development Plans shall not exceed the density allowed in the adopted Future Land Use Designation.

Ag-E District Requirements:

Minimum Living Area:	2,200 sq. ft.
Minimum Site Area:	At 2.5 acres (or 108,900 sq. ft)
Minimum Lot Width	150
Setbacks:	Front: 45 ft.
	Rear: 50 ft.
	Side: 35 ft.
	Corner 35 ft.

Based on the above zoning standards, the subject parcels comply with code requirements for the AG-E district.

Bufferyard Requirements: Developments shall provide a minimum six-foot high brick or stone finished wall adjacent to all external roadways, erected inside a minimum ten-foot landscaped bufferyard. Landscape materials shall be placed adjacent to the right-of-way, on the exterior of the buffer wall. Areas adjacent to agriculture districts or activities shall provide a minimum five foot bufferyard and a minimum six-foot high brick or stone finished wall unless acceptable alternatives are submitted for approval.

Allowable Uses: Single-family dwellings providing they are consistent with the stated purpose of this zoning

MINUTES OF THE PLANNING COMMISSION REGULAR MEETING HELD ON JANUARY 12, 2016, AT 5:30 P.M.

district, commercial wholesale foliage plant production nursery, livestock barns and stables, crop and animal production and the buildings and structures necessary to support such production and other accessory uses in accordance with article VII of the Apopka Land Development Code.

Petitioner Presentation: None.

Affected Party Presentation: None

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

Motion: **Jeremiah Jaspon made a motion to recommend approval of the Change of Zoning from “County” A-1 (ZIP) to “City” AG-E (Agricultural Estate), for property owned by the Huy Tran and Hai Anh Nguyen and located at 904 Schopke Lester Road, subject to the information and findings in the staff report; and Linda Laurendeau seconded the motion. Aye votes were cast by James Greene, Robert Ryan, Jeremiah Jaspon, Linda Laurendeau, and Pam Toler (5-0). (Vote taken by poll.)**

OLD BUSINESS: None.

NEW BUSINESS: None.

ADJOURNMENT: The meeting was adjourned at 5:42 p.m.

James Greene, Chairperson

R. Jay Davoll, P.E.
Community Development Director

Backup material for agenda item:

1. COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT – Owned by Apopka Holdings, LLC, from “County” Low Density Residential (0-4 du/ac) to “City” Office (Max. FAR 0.30), for property located at 1120 Clarcona Road and 1124 S. Park Avenue. (Parcel ID #s: 09-21-28-0197-10-211 & 09-21-28-0197-10-213)



CITY OF APOPKA PLANNING COMMISSION

<input checked="" type="checkbox"/> PUBLIC HEARING	DATE:	February 9, 2016
<input type="checkbox"/> ANNEXATION	FROM:	Community Development
<input type="checkbox"/> PLAT APPROVAL	EXHIBITS:	Land Use Report
<input type="checkbox"/> OTHER:		Vicinity Map
		Adjacent Zoning Map
		Adjacent Uses Map
		Existing Uses

SUBJECT: **COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT - APOPKA HOLDINGS LLC**

PARCEL ID NUMBER: **09-21-28-0197-10-211 & 09-21-28-0197-10-213**

Request: **COMPREHENSIVE PLAN - SMALL SCALE - FUTURE LAND USE AMENDMENT**
FROM: **“COUNTY” LOW DENSITY RESIDENTIAL (0-4 DU/AC)**
TO: **“CITY” OFFICE (MAX. FAR 0.30)**

SUMMARY

OWNER/APPLICANT: Apopka Holdings LLC

LOCATION: 1120 Clarcona Road & 1124 S Park Avenue

EXISTING USE: Vacant Boarding House and Single-Family Residence

CURRENT ZONING: “County” R-3 (ZIP)

PROPOSED DEVELOPMENT: Mental health and rehabilitation clinic, including inpatient residential treatment

PROPOSED ZONING: “City” PUD-PO/I-Residential (Professional Office/Institutional Residential) (Note: this Future Land Use Map amendment request is being processed along with a request to change the Zoning Map designation from “County” A-1 (ZIP) to “City” PUD/PO/I-Residential.)

TRACT SIZE: 0.52 +/- acres

MAXIMUM ALLOWABLE DEVELOPMENT UNDER ZONING DISTRICT:

EXISTING:	29 bed boarding house and a single family house
PROPOSED:	Up to 8,829 sq. ft. medical office and a residential facility for up to 40 patients.

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Ser. Director
Commissioners (4)	HR Director	City Clerk
City Administrator Irby	IT Director	Fire Chief
Community Dev. Director	Police Chief	

ADDITIONAL COMMENTS: Presently, the subject property has not yet been assigned a “City” Future Land Use Designation or a “City” zoning category. Applicant is requesting the City to assign a future land use designation of Office (max FAR of 0.3) to the property.

The subject properties are currently in the process of being annexed into the City of Apopka. If approved by City Council, the annexations will occur on February 17, 2016, through the adoption of Ordinance No. 2387. The proposed Small-Scale Future Land Use Amendment is being requested by the owner/applicant. Pursuant to Florida law, properties containing less than ten acres are eligible to be processed as a small-scale amendment. Such process does not require review by State planning agencies.

A request to assign a Future Land Use Designation of Office is compatible with the designations assigned to abutting properties. The FLUM application covers approximately 0.52 acres.

The applicant intends to redevelop the property for use as a mental health and substance abuse treatment facility, including inpatient residential care. The proposed future land use and use for the property is compatible with the general character of the surrounding neighborhood. The Office Future Land Use Designation and medical office/inpatient residential treatment facility would serve as a transitional use between the surrounding institutional church uses and adjacent Industrial future land uses to the northeast and the single and multi-family residential to the south, west and southeast of the subject properties.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this land use change (see attached Land Use Report).

COMPREHENSIVE PLAN COMPLIANCE: The existing and proposed use of the property is consistent with the Office (max FAR 0.3) Future Land Use designation and the City’s proposed PUD/PO/I/Residential Zoning so long as existing building floor area is not expanded on the existing land area comprising the subject site.

SCHOOL CAPACITY REPORT: Because this Change of Zoning represents a change to a non-residential underlying zoning classification and any residential is ancillary to medical treatment, notification of Orange County Public Schools is not required.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on January 8, 2016.

PUBLIC HEARING SCHEDULE:

- February 9, 2016 - Planning Commission (5:30 pm)
- March 2, 2016 - City Council (1:30 pm) - 1st Reading
- March 16, 2016 – City Council (7:00 pm) - 2nd Reading

DULY ADVERTISED:

- January 22, 2016 – Public Notice and Notification
- March 4, 2016 – ¼ Page w/Map Ordinance Heading Ad

RECOMMENDED ACTION:

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommends approval of the change in Future Land Use from “County” Low Density Residential (0-4 du/ac) to “City” Office (max FAR 0.3) for the property owned by Apopka Holdings LLC and located at 1120 Clarcona Road & 1124 S Park Avenue, contingent upon the annexation of the properties into the City of Apopka.

Recommend to amend the Future Land Use Map designation from “County” Low Density Residential to “City” Planning Unit Development (allowing limited Professional Office\Intuitional uses and Residential)

Note: This item is considered Legislative. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

LAND USE REPORT

I. RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Residential Low (0-5 du/ac)	R-3	Church
East (County)	Low Density Residential (0-4 du/ac)	R-3	Single-family residential & vacant residential
South (County)	Low Density Residential (0-4 du/ac)	R-3	Single family residence
West (County)	Low Density Residential (0-4 du/ac)	R-3	Church

II. LAND USE ANALYSIS

The general character of the area surrounding the subject property is compatible with the development of residential uses. The property west of Clarcona Road and south of Washington Street.

Wekiva River Protection Area: No
 Area of Critical State Concern: No
 DRI / FQD: No

JPA: The City of Apopka and Orange County entered into a Joint Planning Area (JPA) agreement on October 26, 2004. The subject property is located within “Core Area” of the JPA.

Redevelopment: Policy 3.13. No non-conforming structure shall be substantially expanded.

Wekiva Parkway and Protection Act: The proposed amendment has been evaluated against the adopted Wekiva Study Area Comprehensive Plan policies. While located within the Wekiva River Basin Study Area, the subject property is not located within the Protection Area. The proposed amendment is consistent with the adopted mandates and requirements. The proposed Future Land Use Map (FLUM) amendment has been reviewed against the best available data, with regard to aquifer and groundwater resources. The City of Apopka's adopted Comprehensive Plan addresses aquifer recharge and stormwater run-off through the following policies:

- Future Land Use Element, Policies 4.16, 14.4, 15.1, 16.2 and 18.2
- Infrastructure Element, Policies 1.5.5, 4.2.7, 4.4, 4.4.1, 4.4.2 and 4.4.3
- Conservation Element, Policy 3.18

Karst Features: The Karst Topography Features Map from the Florida Department of Environmental Protection shows that there are no karst features on this property.

Analysis of the character of the Property: The property fronts Clarcona Rd. The vegetative communities present are urban; the soils present are Candler fine sand; and no wetlands occur on the site, and the terrain has a 0-5 percent slope.

The proposed amendment is consistent with the Comprehensive Plan, including Policy 3.1.j Office Future Land Use designation.

Analysis of the relationship of the amendment to the population projections: The proposed future land use designation for the Property is Office (max FAR 0.3). Based on the housing element of the City's Comprehensive Plan, this amendment will increase the City’s future population.

CALCULATIONS:

ADOPTED (County designation): 2 Unit(s) x 2.659 p/h = 5 persons
PROPOSED (City designation): N/A

Housing Needs: This amendment will not negatively impact the housing needs as projected in the Comprehensive Plan.

Habitat for species listed as endangered, threatened or of special concern: Per policy 4.1 of the Conservation Element, a habitat study is required for developments greater than ten (10) acres in size. This site is less than ten acres. A habitat study will not be required at the time of a development plan application.

Transportation: The City of Apopka is a Transportation Concurrency Exception Area. Refer to Chapter 3 of the City of Apopka 2010 Comprehensive Plan.

Potable Water, Reclaimed Water & Sanitary Sewer Analysis: The subject property is located within the Orange County Utilities service area for potable water, reclaimed water and sanitary service. The property owner will need to provide a letter from Orange County Utilities demonstrating available capacity prior to submittal of any development plan.

Sanitary Sewer Analysis

1. Facilities serving the site; current LOS; and LOS standard: None; 81 GPD/Capita;
81 GPD / Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 392 GPD
3. Projected total demand under proposed designation: 1921 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 81 GPD/Capita
6. Projected LOS under proposed designation: 81 GPD/Capita
7. Improved/expansions already programmed or needed as a result if proposed amendment: None

Potable Water Analysis

1. Facilities serving the site; current LOS; and LOS standard: City of Apopka; 177 GPD/Capita;
177 GPD/Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 908 GPD
3. Projected total demand under proposed designation: 2561 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 177 GPD/Capita
6. Projected LOS under proposed designation: 177 GPD/Capita
7. Improved/expansions already programmed or needed as a result of the proposed amendment: None
8. Parcel located within the reclaimed water service area: Yes

Solid Waste

1. Facilities serving the site: City of Apopka
2. If the site is not currently served, please indicate the designated service provider: City of Apopka
3. Projected LOS under existing designation: 20 lbs./person/day
4. Projected LOS under proposed designation: 25 lbs./day/1000 sf
5. Improved/expansions already programmed or needed as a result of the proposed amendment: None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

Infrastructure Information

Water treatment plant permit number: CUP No. 3217

Permitting agency: St. John's River Water Management District

Permitted capacity of the water treatment plant(s): 21.981 GPD

Total design capacity of the water treatment plant(s): 33.696 GPD

Availability of distribution lines to serve the property: Yes

Availability of reuse distribution lines available to serve the property: No

Drainage Analysis

1. Facilities serving the site: None
2. Projected LOS under existing designation: 100 year - 25 hour design storm
3. Projected LOS under proposed designation: 100 year - 25 hour design storm
4. Improvement/expansion: On-site retention/detention pond

Recreation

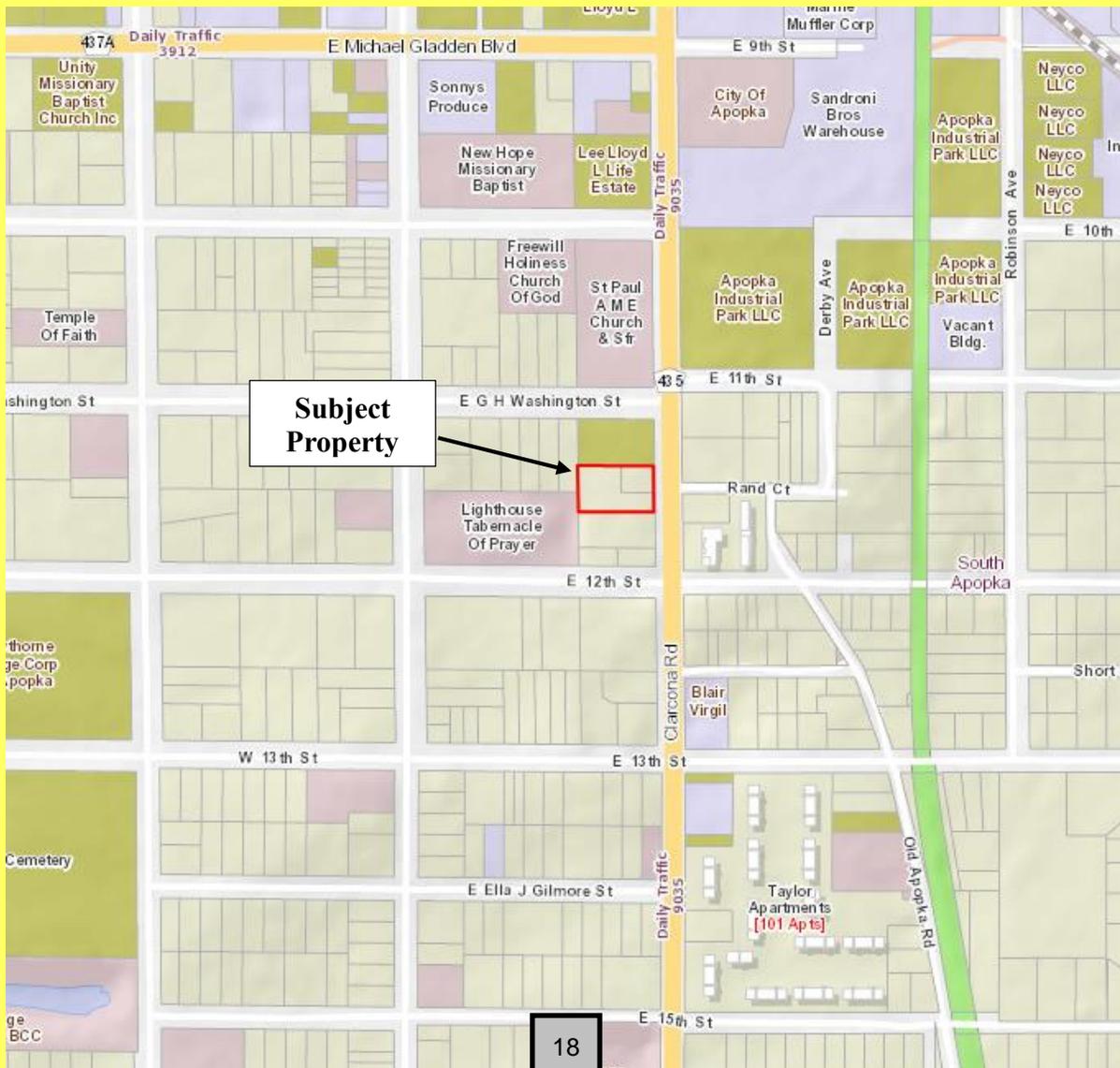
1. Facilities serving the site; LOS standard: City of Apopka Parks System; 3 AC/1000 capita
2. Projected facility under existing designation: 0.015 AC
3. Projected facility under proposed designation: N/A AC
4. Improvement/expansions already programmed or needed as a result of the proposed amendment: None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

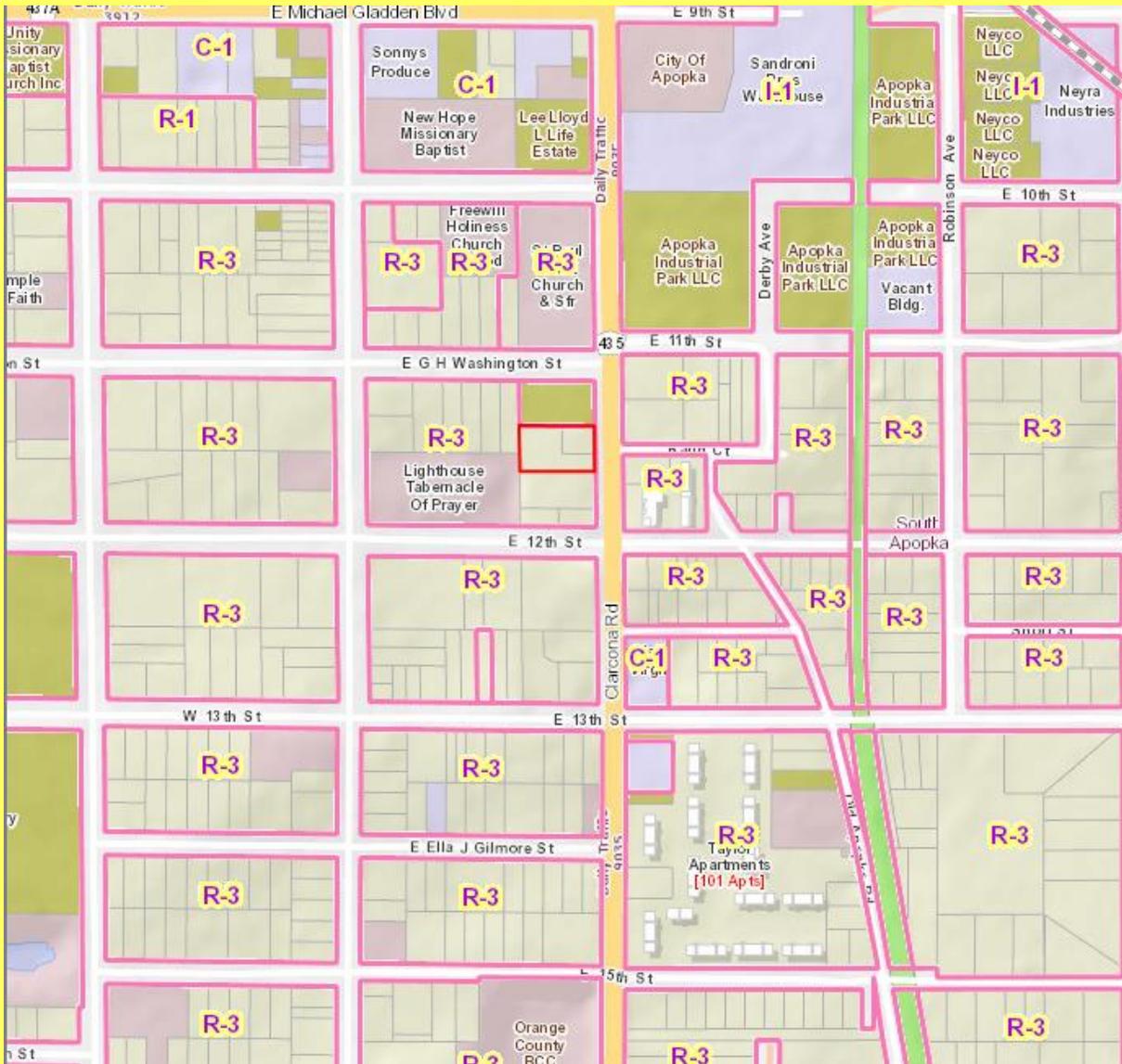
Apopka Holdings LLC
1120 & 1124 Clarcona Road
0.52 +/- Acres
Existing Maximum Allowable Development: 2 dwelling units
Proposed Maximum Allowable Development: 8,829 sq. ft.
Proposed Small Scale Future Land Use Change
From: "County" Low Density Residential (0-4 du/ac)
To: "City" Office (max FAR 0.3)
Proposed Zoning Change
From: "County" R-3 (ZIP)
To: "City" PUD/PO//Residential
Parcel ID #: 09-21-28-0197-10-211 & 09-21-28-0197-10-213



VICINITY MAP

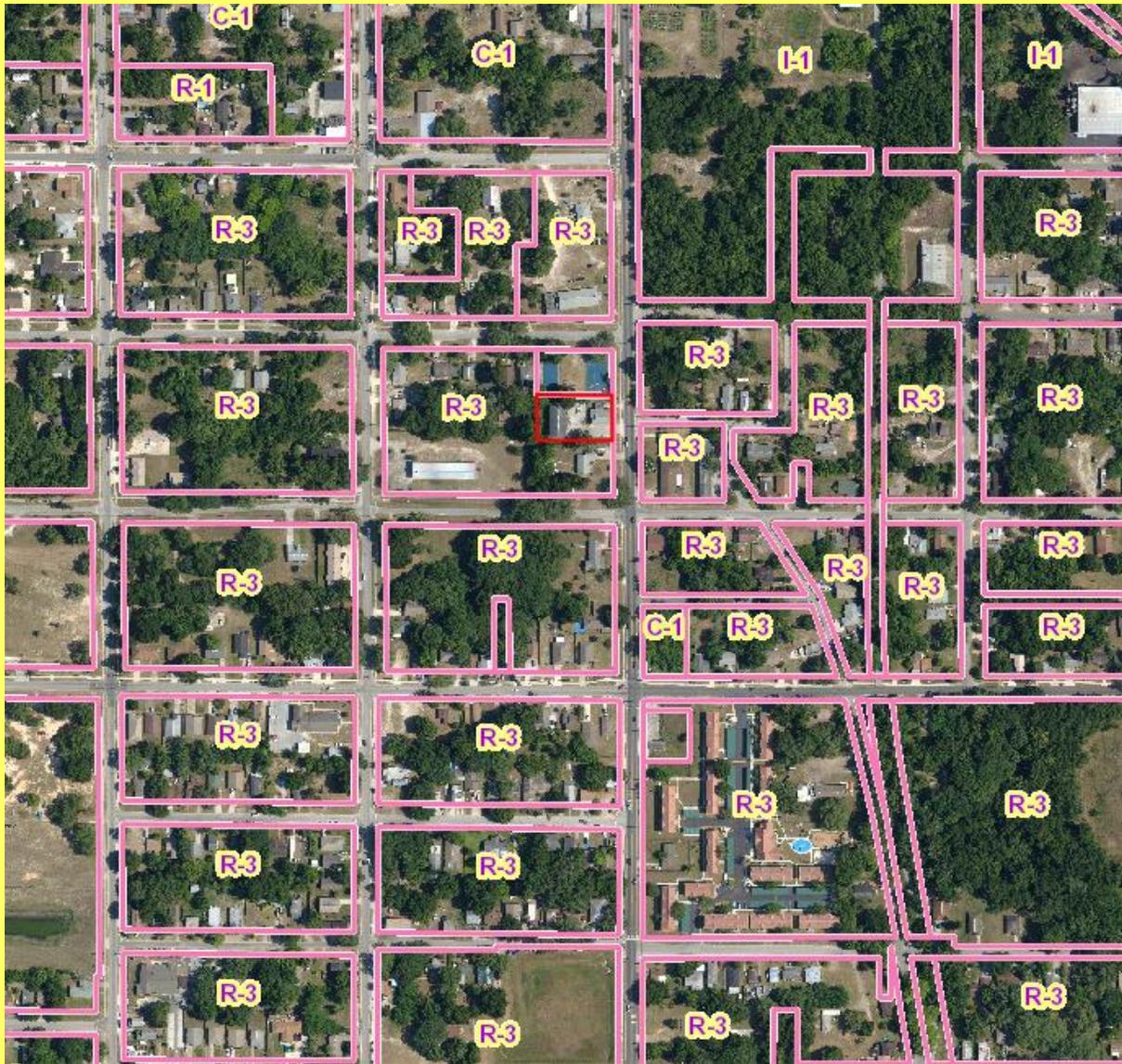


ADJACENT ZONING





ADJACENT USES





EXISTING USES



Backup material for agenda item:

2. CHANGE OF ZONING – Owned by Apopka Holdings, LLC, from “County” R-3 (Residential) to “City” Planned Unit Development (PUD/PO/I & Residential), for property located at 1120 Clarcona Road and 1124 S. Park Avenue. (Parcel ID #s: 09-21-28-0197-10-211 & 09-21-28-0197-10-213)



CITY OF APOPKA
PLANNING COMMISSION

X PUBLIC HEARING
ANNEXATION
PLAT APPROVAL
OTHER:
DATE: February 9, 2016
FROM: Community Development
EXHIBITS: Land Use Report
Vicinity Map
Adjacent Zoning Map
Adjacent Uses Map
Existing Use Map

SUBJECT: CHANGE OF ZONING – APOPKA HOLDINGS, LLC

PARCEL ID NUMBER: 09-21-28-0197-10-211 & 09-21-28-0197-10-213

Request: CHANGE OF ZONING
FROM: "COUNTY" R-3 (RESIDENTIAL)
TO: PLANNED UNIT DEVELOPMENT (PUD - PO/I - RESIDENTIAL) (MAX. 0.30 FAR)

SUMMARY

OWNER/APPLICANT: Apopka Holdings, LLC
LOCATION: 1120 Clarcona Rd & 1124 S Park Ave
EXISTING USE: Vacant rooming house (29 beds) and vacant single-family residential (per Orange County Property Appraiser's records.
FLUM DESIGNATION: "County" Low Density Residential (0 – 4 du/ac)
CURRENT ZONING: "County" R-3 (ZIP)
PROPOSED DEVELOPMENT: Mental health and substance abuse rehabilitation clinic, includes inpatient residential treatment
PROPOSED ZONING: Planned Unit Development (PUD - PO/I - Residential) (Note: this Change of Zoning request is being processed along with the request to change the Future Land Use Map designation to "City" Office)
TRACT SIZE: 0.52 +/- acres
MAXIMUM ALLOWABLE DEVELOPMENT UNDER ZONING DISTRICT: EXISTING: 29 bed boarding house and a single family house
PROPOSED: Up to 8,829 sq. ft. medical office and a residential facility for up to 40 patients. (The current floor area ratio of existing the buildings is 0.389, while the maximum floor area ratio for the zoning district is 0.30 or 6,795 sq. ft.)

DISTRIBUTION

Mayor Kilsheimer Finance Director Public Ser. Director
Commissioners (4) HR Director City Clerk
City Administrator Irby IT Director Fire Chief
Community Dev. Director Police Chief

ADDITIONAL COMMENTS: The subject properties are currently in the process of being annexed into the City of Apopka. If approved by City Council, the annexations will occur on February 17, 2016, through the adoption of Ordinance No. 2387. The proposed change of zoning is being requested by the owner.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this zoning change (see attached Zoning Report).

The applicant proposes to redevelop the property for use as a mental health and substance abuse rehabilitation center with inpatient care. An existing 1,933 sq. ft. single-family house will be converted to office and rehabilitation services, and the existing rooming house (29 bed capacity; 6,896 sq. ft.) will be converted to a residential facility for up to 40 resident patients. In addition, a community bathroom facilities, kitchen, and dining facilities will be provided inside an enclosed building. With a maximum floor area ratio standard of 0.30, a maximum of 6,795 sq. ft. of building floor area is allowed on the .52 acre site. The combined floor area of the two existing buildings is 8,829 sq. ft. or 2,033 square feet above the maximum allowed for acreage on this property. The current floor area ratio of existing buildings is 0.389, while the maximum floor area ratio for the zoning district is 0.30. Existing buildings cannot be expanded or additional buildings constructed until additional land is added to the subject site to meet the 0.30 FAR.

The proposed zoning and use is compatible with adjacent zoning districts and the general character of the surrounding area. Parcels abutting to the north are used for a church – the St. Paul African Methodist Episcopal Church. Abutting to the Lighthouse Tabernacle church abuts part of the western (rear) property line. Predominant land uses in the abutting and surrounding area are single family residential and religious facilities. The underlying PO/I and Residential zoning serves as a transitional zoning between the residential uses to the east, south and west, and to the institutional, commercial and industrial zoning and uses to the north and northeast of the subject properties.

PUD RECOMMENDATIONS: That the zoning classification of the following described property be designated as Planned Unit Development (PUD), as defined in the Apopka Land Development Code, and with the following Master Plan provisions subject to the following zoning provisions:

- A. The uses permitted within the PUD district shall be: all such uses permitted within the PO/I (Professional Office/Institutional PO\I (zoning category) except for following PO\I uses shall be prohibited:
1. Hospitals, museums, libraries or cultural institutions;
 2. Retail establishments, including those for the sale of pharmaceutical, medical and dental supplies or other hospital-related items;
 3. Boarding or rooming house(s);
 4. All other uses listed as prohibited within the Professional Office/Institutional zoning district;
 5. All uses permitted through a special exception within the Professional Office/Institutional zoning district.
- B. Over-night inpatient rooming facilities shall be permitted as an ancillary use if the site is used for medical care; all other residential uses shall be prohibited. Permitted residential shall be limited as follows:
1. Full-time residential shall be permitted for an 24 e caretaker or property manager.

2. Residents at the site shall only be patients served by the on-site medical services.
 3. Residents typically will not have automobiles parked at the residential facilities. All on-site parking or satellite parking shall be identified at the Final Development Plan.
- C. Single family residential is allowed as a principal use at the site (minimum 7,500 sq. ft. lot) and only as a single use. No duplex or multi-family residential will be allowed as a permissible use. No other use may occur on the subject site if developed for single family residential use except allowed residential accessory structures. If developed as single family residential, R-3 district development standards shall apply for a single family development only.
- D. Master Plan requirements, as enumerated in Section 2.02.18 K. of the Apopka Land Development Code, not addressed herein are hereby deferred until the submittal and review of the Final Development Plan submitted in association with the PUD district.
- E. If a Final Development Plan associated with the PUD district has not been approved by the City within three years after approval of these Master Plan provisions, the approval of the Master Plan provisions will expire. At such time, the City Council may:
1. Permit a single six-month extension for submittal of the required Final Development Plan;
 2. Allow the PUD zoning designation to remain on the property pending resubmittal of new Master Plan provisions and any conditions of approval; or
 3. Rezone the property to a more appropriate zoning classification.
- F. Unless otherwise approved by City Council through an alternative development guideline that is adequate to protect the public health, safety and welfare, the following zoning and development standards shall apply to the development of the Property and for the master site plan:
1. If the substance abuse/mental health treatment facility vacates the site for more than 180 days, the permitted uses shall revert to those allowed within the “City” R-3 zoning district. In such case, a rooming house\boarding house is not allowed.
 2. Any new structures shall meet the architectural design standards set forth in the Apopka Development Design Guidelines dated May 2000, or as amended by the Apopka City Council. Any building, whether residential or non-residential, shall be designed with a residential architecture style and shall have a pitched roof.
 3. The existing two buildings may be used for medical treatment and residential facilities but the gross building floor area shall not be expanded. Buildings may be used for medical office (drug, alcohol and mental health medical treatment and associated residential care uses only, No new buildings or expansion of existing buildings shall occur unless the total floor area of all buildings complies with the floor area ratio for the PO\I zoning district (i.e., .030 FAR).
 4. The site shall provide a six-foot brick/masonry wall along the western and southern portions of the subject properties adjacent to residential uses.

5. The subject properties shall meet all other buffer yard and landscaping requirements, as defined in the Apopka Land Development Code, to the greatest extent practical,
6. All services occurring at the site, including dining and cooking facilities, shall occur inside an enclosed building.
7. At the Final Development Plan, if the subject site cannot accommodate the required number of parking spaces, applicant must either obtain long-term contracts with abutting churches to use their parking spaces to meet the parking requirement, or the Final Development Plan shall not be approved. Medical patients residing at the residential facility shall not be allowed to park at the site unless a Final Development Plan demonstrates sufficient parking is available.
8. Existing floor area of buildings cannot be expanded square feet of the existing buildings can be used for the medical treatment and residential facility to comply with the .30 FAR policy requirements set forth in Policy 3.1.j. No more than 40 patients or the maximum number of occupants allowed by building code, whichever is lower, shall reside at the residential facilities. Only patients and employees of the medical provider may reside at approved residential facilities.
9. Connection to City central water and sewer service is required prior to issuance of a certificate of occupancy.
10. Unless otherwise provided herein, the design of the site through a Final Development Plan shall occur consistent with development standards for the POI zoning district.

COMPREHENSIVE PLAN COMPLIANCE: The existing and proposed use of the property is consistent with the Office Future Land Use designation and the City’s proposed Planned Unit Development (PUD/PO/I) Zoning classifications. Site development cannot exceed the intensity allowed by the Future Land Use policies.

SCHOOL CAPACITY REPORT: Because this Change of Zoning represents a change to a non-residential underlying zoning classification and any residential is ancillary to medical treatment, notification of Orange County Public Schools is not required.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on January 8, 2016.

PUBLIC HEARING SCHEDULE:

February 9, 2016 - Planning Commission (5:30 pm)
March 2, 2016 - City Council (1:30 pm) - 1st Reading
March 16, 2016 – City Council (7:00 pm) - 2nd Reading

DULY ADVERTISED:

January 22, 2016 – Public Notice and Notification
March 4, 2016 – ¼ Page w/Map Ordinance Heading Ad

RECOMMENDED ACTION:

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and recommends approval of the change in zoning from R-3 (ZIP) to Planned Unit Development (PUD/PO/I/Residential) subject to the PUD zoning and developments standards for the property owned by Apopka Holdings, LLC, contingent upon the annexation of the properties into the City of Apopka.

Recommend to change the zoning category from “County” R-3 Residential to “City” Planning Unit Development – Professional Office\Institutional and Residential Uses.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT

I. RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Residential Low (0-5 du/ac)	R-3	Church\recreation facilities
East (County)	Low Density Residential (0-4 du/ac)	R-3	Single-family residential & vacant residential
South (County)	Low Density Residential (0-4 du/ac)	R-3	Single family residence
West (County)	Low Density Residential (0-4 du/ac)	R-3	Church and single family homes

LAND USE &

TRAFFIC COMPATIBILITY:

The property has access to a Minor Arterial roadway (Clarcona Road). A medical office/clinic is a permissible use within the PO/I zoning category. Future land use designations and zoning categories assigned to properties to the north, south, east, and west is predominantly residential, industrial and commercial.

COMPREHENSIVE

PLAN COMPLIANCE:

The proposed PUD/PO/I/Residential zoning is compatible with policies set forth in the Comprehensive Plan.

PO/I DISTRICT

REQUIREMENTS:

FAR: 0.30 (max.)
 Open Space: 30 percent
 Minimum Site Area: 10,000 sq. ft.
 Minimum Lot Width: 85 ft.
 Setbacks: Front: 25 ft.
 Side: 10 ft.
 Corner: 25 ft.
 Rear: 10 ft.
 Adjacent to Residential: 25 ft.

BUFFERYARD

REQUIREMENTS:

Areas adjacent to all road rights-of-way shall provide a minimum ten (10) foot landscaped bufferyard. Areas adjacent residential use shall provide a minimum six (6) foot masonry wall within a ten (10) foot landscaped bufferyard.

ALLOWABLE

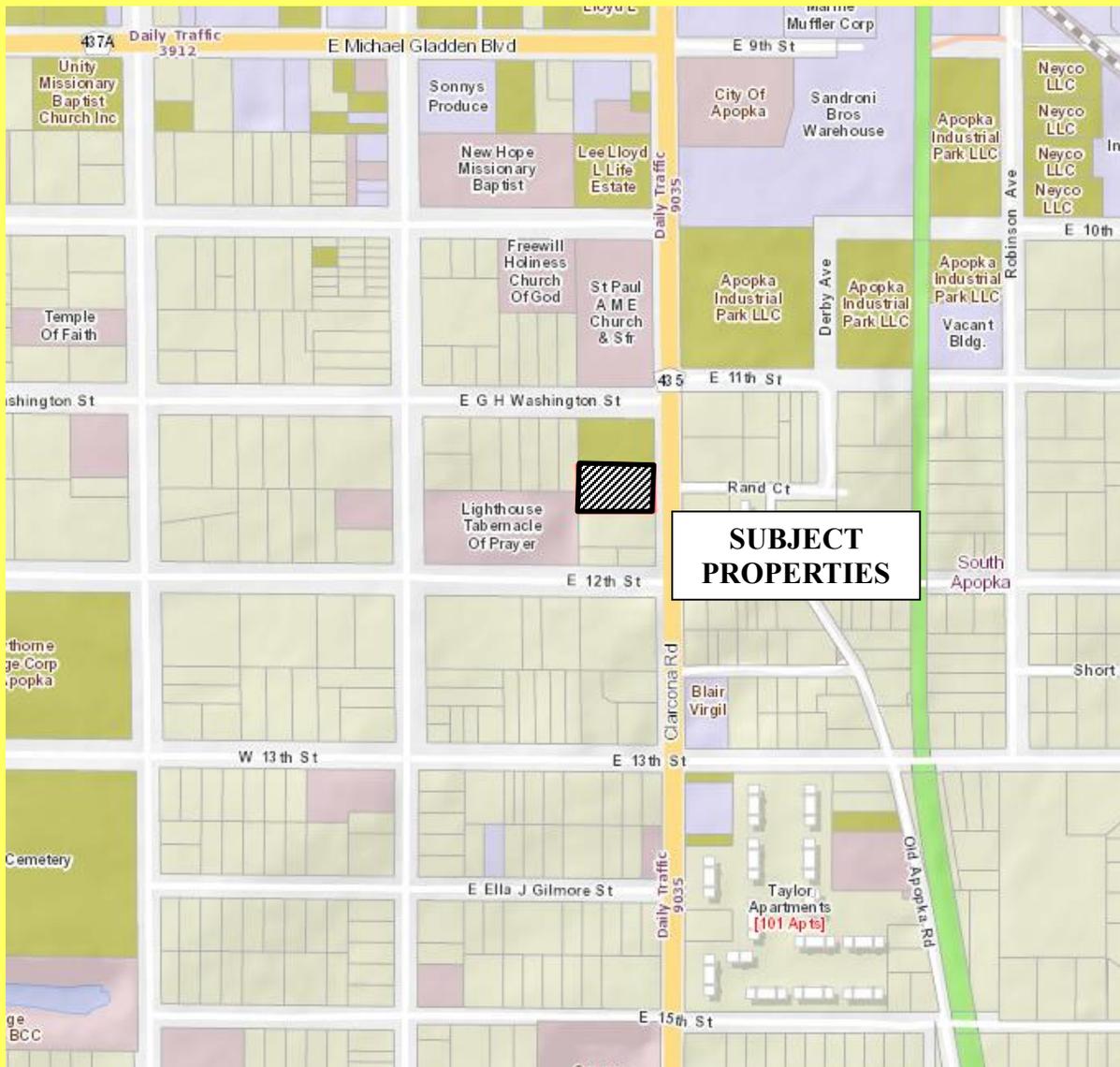
USES:

Professional offices, medical or dental clinics and offices, establishments for the retail sale of pharmaceutical, medical and dental supplies, hospitals, museums, libraries, churches and educational facilities.

Apopka Holdings LLC
1120 Clarcona Road & 1124 S Park Avenue
0.52 +/- Acres
Existing Maximum Allowable Development: 2 dwelling units
Proposed Maximum Allowable Development: 8,829 sq. ft.
Proposed Small Scale Future Land Use Change
From: “County” Low Density Residential (0-4 du/ac)
To: “City” Office (max FAR 0.3)
Proposed Zoning Change
From: “County” R-3 (ZIP)
To: “City” PUD/PO//Residential
Parcel ID #: 09-21-28-0197-10-211 & 09-21-28-0197-10-213

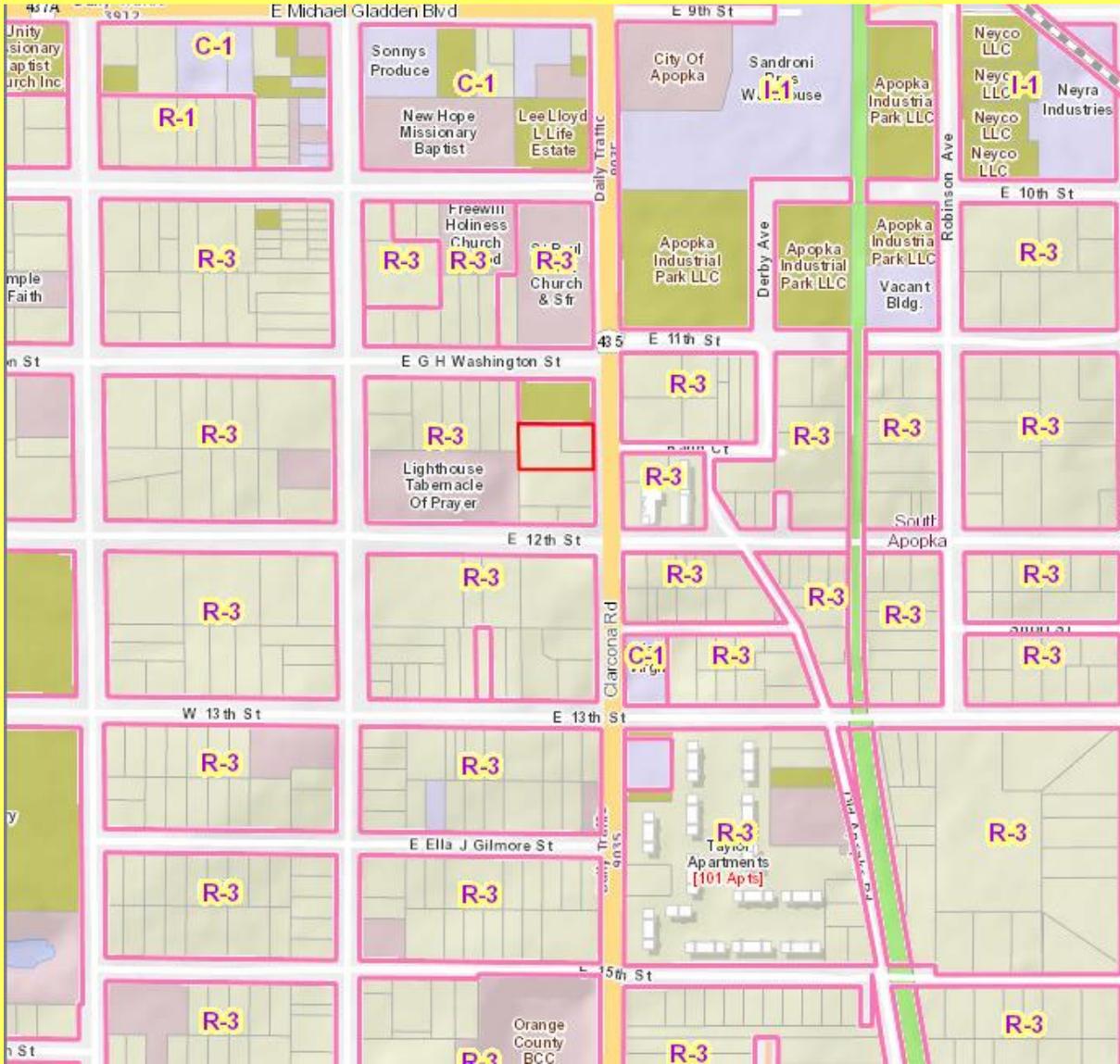


VICINITY MAP



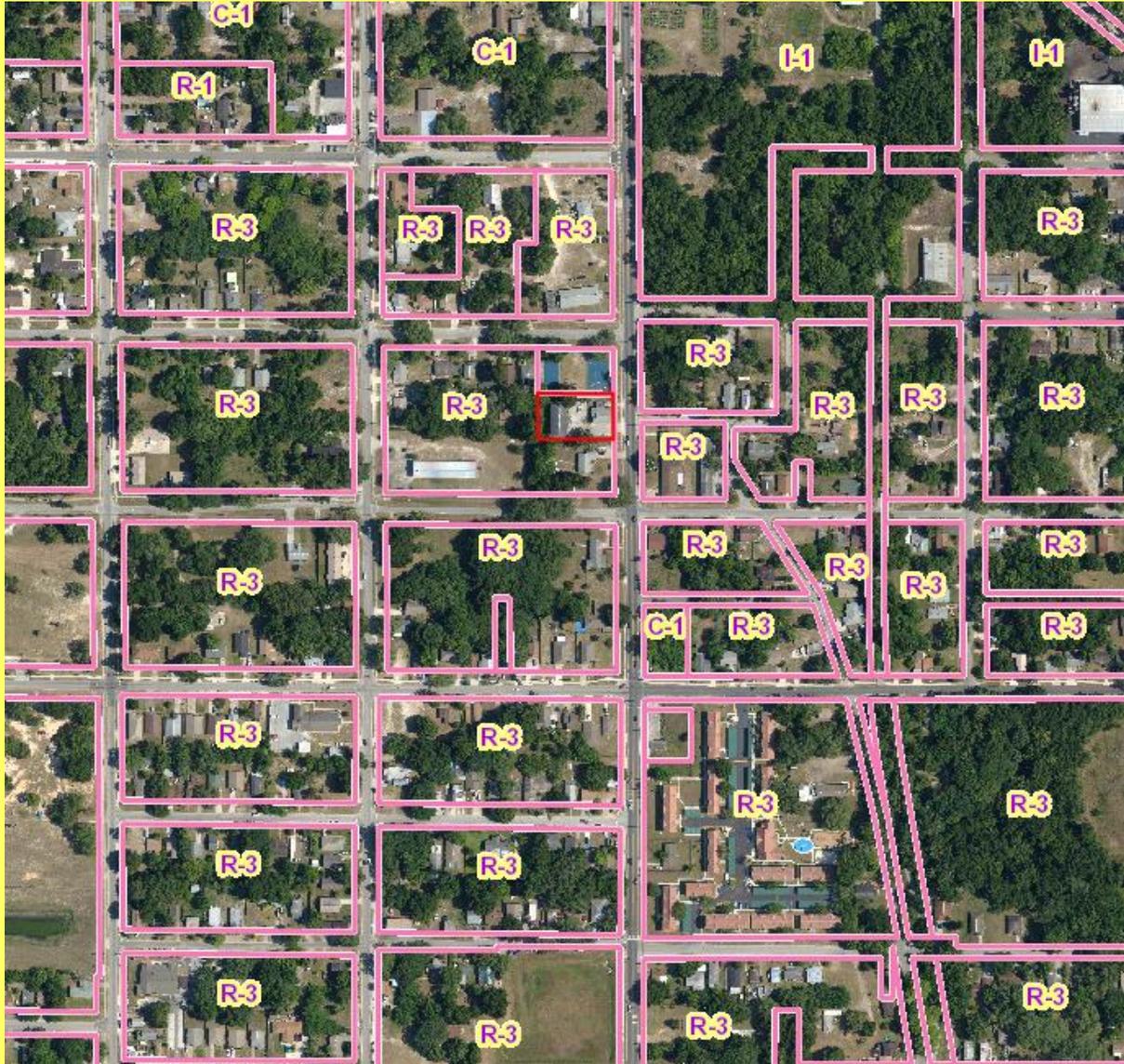


ADJACENT ZONING





ADJACENT USES





EXISTING USES



Backup material for agenda item:

1. FINAL DEVELOPMENT PLAN –Wekiva Riverwalk Daycare Center – Owned by Woolbright Wekiva, LLC, and located at 2121 East Semoran Boulevard. (Parcel ID #: 12-21-28-9093-00-010)



CITY OF APOPKA PLANNING COMMISSION

<input checked="" type="checkbox"/> PUBLIC HEARING	MEETING OF:	February 9, 2016
<input type="checkbox"/> ANNEXATION	FROM:	Community Development
<input type="checkbox"/> PLAT APPROVAL	EXHIBITS:	Vicinity/Aerial Maps
<input checked="" type="checkbox"/> OTHER: Final Development Plan		Site/Landscape Plans
		Building Elevations
		Waiver Request Letter

PROJECT: FINAL DEVELOPMENT PLAN - WEKIVA RIVERWALK DAYCARE

Request: RECOMMEND APPROVAL OF THE FINAL DEVELOPMENT PLAN FOR WEKIVA RIVERWALK DAYCARE BUILDING AND CONSIDERATION OF WAIVERS

SUMMARY:

OWNER/APPLICANT: Woolbright Wekiva, LLC.

ENGINEER: Harris Civil Engineers, LLC c/o David W. Taylor, P.E.

ARCHITECT: ARC3 Architecture

LOCATION: 2121 East Semoran Boulevard

PARCEL ID #: 12-21-28-9093-00-010

LAND USE: Commercial

ZONING: C-1

EXISTING USE: Retail Shopping Plaza (Retention Pond)

PROPOSED USE: Daycare

TRACT SIZE: 4.19 +/- acres

OVERALL DEVELOPMENT SIZE: 24.74 +/- acres

BUILDING SIZE: 10,000 sq. ft. – Daycare Center w/ Playground

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Ser. Director
Commissioners (4)	HR Director	City Clerk
City Administrator Irby	IT Director	Fire Chief
Community Dev. Director	Police Chief	

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (County)	Office	R-1	Single Family Residential
East (County)	Low Density Residential	R-1	Single Family Residential
South (City)	Commercial	C-1	Retail Shopping Plaza
West (City)	Commercial	C-1	Retention

ADDITIONAL COMMENTS: The Wekiva Riverwalk Daycare Building - Final Development Plan proposes a 10,000 square feet daycare facility with a 5000 square feet playground. The proposed daycare facility will be located in the rear of the shopping plaza at the Northeast corner of the site adjacent to Wekiva Spring Road; within a portion of an existing retention pond.

PARKING: A total of 51 parking spaces are provided (34 required by code) of which 2 are reserved as a handicapped parking space.

ACCESS: Access to the site is provided by an existing driveway cut along Wekiva Springs Road.

EXTERIOR ELEVATIONS: Staff has found the proposed building elevations to be in accordance with the City’s Development Design Guidelines.

STORMWATER: Stormwater run-off and drainage will be accommodated by an on-site stormwater drainage system. The stormwater management system is designed according to standards set forth in the Land Development Code.

BUFFER/TREE PROGRAM: The applicant has provided a detailed landscape and irrigation plan for the property. The planting materials and irrigation system design are consistent with the water-efficient landscape standards set forth in Ordinance No. 2069.

WAIVER REQUESTS:

The applicant is requesting a waiver to LDC Section 6.03.02 which requires a designated, covered drop-off and pick-up area for the students.

Justification: As a security measure, parents or guardians are required by the day care provider to bring the child inside the building and sign them in a registrar. Day cares locating inside an existing commercial building or tenant space within a shopping plaza are not required to have a covered drop-off and pick-up area for patrons, even though location within the commercial space is considered a change of use.

DRC recommendation-- DRC supports this waiver request.

DRC RECOMMENDATION:

DRC recommendation is subject to the applicant addressing the following outstanding items before the application is placed on a City Council meeting:

1. A transportation study prepared by the applicant’s 35 c engineer is under review by the City Engineer. Any recommendations generated by this study will be 35 at the Planning Commission meeting.

2. Stormwater calculations must be completed prior to the City Council hearing.
3. A minimum of 20 percent of the day car parking spaces shall be constructed with permeable material.
4. Landscape plans and irrigation plans will be modified to address the minor comments from the Development Review Committee.
5. The drive aisle located west of the daycare must be 24 feet in width.
6. No monument sign is allowed along within the Wekiva Springs Road buffer. Wall signs per code are allowed.
7. All DRC comments must be incorporated into the Final Development Plan prior to submittal of City Council agenda item.

PUBLIC HEARING SCHEDULE:

February 9, 2016 - Planning Commission (5:30 pm)

March 2, 2016 - City Council (7:00 pm)

RECOMMENDED ACTION:

The **Development Review Committee** recommends the approval of the Wekiva Riverwalk Daycare Building Final Development Plan and to accept all waiver request.

Planning Commission Recommendation: The role of the Planning Commission for this development application is to advise the City Council to approve, deny, or approve with conditions based on consistency with the Comprehensive Plan and Land Development Code

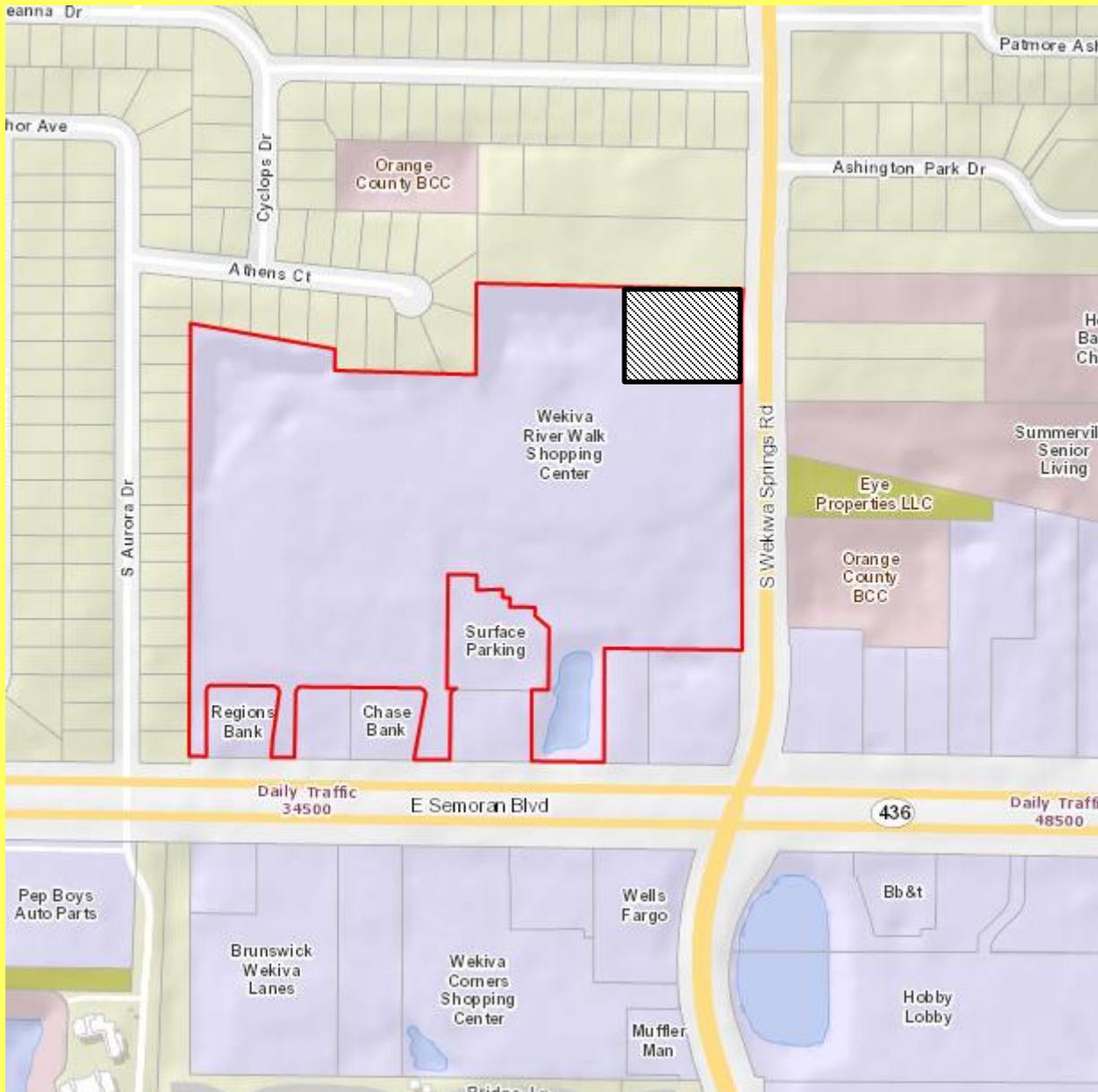
Recommend approval of the Wekiva Riverwalk Daycare Building – Final Development Plan, subject to the findings of this staff report.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Application: Final Development Plan
Owner/Applicant: Woolbright Wekiva, LLC
Engineer: Harris Civil Engineers, LLC, c/o David W. Taylor, P.E.
Architect: ARC3 Architecture
Parcel I.D. No: 12-21-28-9093-00-010
Location: 2121 East Semoran Boulevard
Acres: 4.19 +/-



VICINITY MAP



Application: Final Development Plan
Owner/Applicant: Woolbright Wekiva, LLC
Engineer: Harris Civil Engineers, LLC, c/o David W. Taylor, P.E.
Architect: ARC3 Architecture
Parcel I.D. No: 12-21-28-9093-00-010
Location: 2121 East Semoran Boulevard
Acres: 4.19 +/-



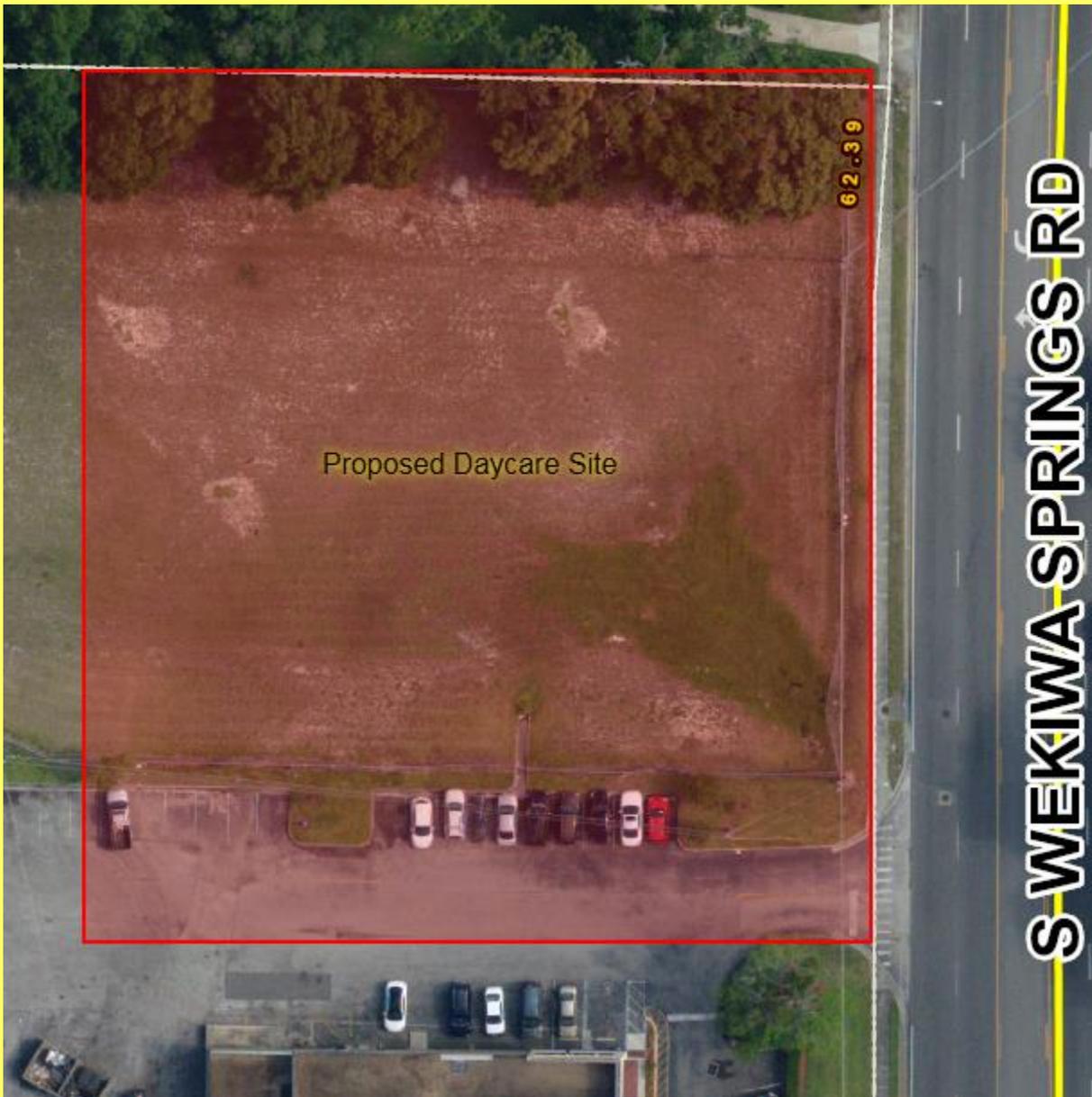
AERIAL MAP



Application: Final Development Plan
Owner/Applicant: Woolbright Wekiva, LLC
Engineer: Harris Civil Engineers, LLC C/o David W. Taylor, P.E.
Architect: ARC3 Architecture
Parcel I.D. No: 12-21-28-9093-00-010
Location: 2121 East Semoran Boulevard
Acres: 4.19 +/-



AERIAL SITE MAP



FINAL DEVELOPMENT PLANS

FOR

WEKIVA RIVERWALK DAYCARE BUILDING

LOT 1 - PARCEL ID NO. 12-21-28-9093-00-010

CITY OF APOPKA, FLORIDA
SUBMITTED: JANUARY 14, 2016

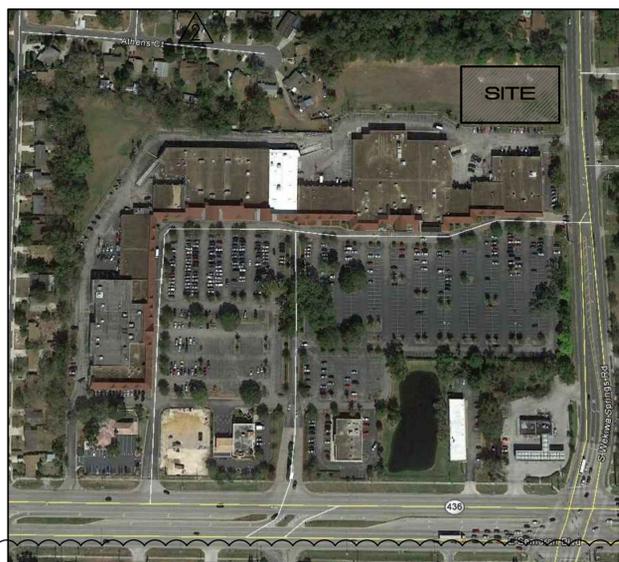
HARRIS
Harris Civil Engineers, LLC
1200 E. Hillcrest Street
Suite 200
Orlando, Florida 32803
Phone: (407) 629-4777
(800) 595-8185
Fax: (407) 629-7888
www.harriscivilengineers.com
EB 9814

WEKIVA RIVERWALK LOT 1 SHOPPING CENTER
AND DAYCARE BUILDING
EAST SEMORAN BLVD.
APOPKA, FL 32703

PARCEL LOCATION MAP



PROJECT LOCATION MAP



PREPARED BY:

HARRIS
HARRIS CIVIL ENGINEERS, LLC

PREPARED FOR:

WOOLBRIGHT WEKIVA LLC.
2240 NW 19TH STREET, SUITE 801
BOCA RATON, FLORIDA 32432
561-989-2240

SHEET INDEX:

SHEET NUMBER	SHEET TITLE
C-000	COVER SHEET
C-001	GENERAL NOTES
C-002	FINAL DEVELOPMENT PLAN
C-090	DEMOLITION AND EC PLAN
C-091	DEMOLITION AND EC PLAN
C-092	DEMOLITION AND EC PLAN
C-100	SITE PLAN
C-101	GEOMETRY PLAN
C-102	GEOMETRY PLAN
C-200	GRADING PLAN
C-201	GRADING PLAN
C-202	GRADING PLAN
C-203	GRADING PLAN
C-300	UTILITY PLAN
C-400	DETAILS
C-401	DETAILS
C-402	DETAILS
C-403	DETAILS
C-404	DETAILS
LA-1	LANDSCAPE SITE PLAN
LA-2	IRRIGATION SITE PLAN
LA-3	LANDSCAPE SPECS & DETAILS
LA-4	IRRIGATION SPECS & DETAILS
A1.1	FLOOR PLAN
	TOPOGRAPHIC SURVEY
	PHOTOMETRIC PLAN

PARCEL ID NUMBER	12-21-28-9093-00-010		
ADDRESS:	2121 East Semoran Blvd.		
	Apopka, Florida 32703		
FUTURE LAND USE	1600 - COMMUNITY SHOPPING		
ZONING	C-1		
ADJACENT LAND USE	North:	East:	South:
	R	C-1	C-1
ADJACENT ZONING	North:	East:	South:
	R	C-1	R/C-1
ACREAGE/SQUARE FOOTAGE	Acres:	Parcel S.F.	Building S.F.
	24.74	1,236,651.98	224,200
BUILDING HEIGHT	Max:	Proposed:	
	35'	23.16'	
FLOOR AREA RATIO	Max:	Proposed:	
	0.25	0.234	
BUILDING SETBACKS	Proposed: Front: 50'	Side: 10'	Rear: 30'
	Required: Front: 50'	Side: 10'	Rear: 30'
PARKING SPACES	Proposed:	Required: 1,245*	
	1273	*See "Final Development Plan" for Parking Calculations	

ACREAGE/SQUARE FOOTAGE	Acres:	S.F.
TOTAL AFFECTED AREA	4.19	182,516.40
MAIN SITE	1.18	51,407.03
POND 1	1.48	64,871.96
POND 2	1.53	66,437.41
BUILDING HEIGHT	Proposed: 23.16'	Max: 35'
LANDSCAPE BUFFER	Required: 15'	Min: >15' (see landscape plans)
SETBACK DATA	Required:	Provided:
FRONT TO PROPERTY LINE	10'	27.12'
FRONT TO ROAD CENTER LINE	50'	78.83'
SIDE	10'	492.09'
REAR	30'	30.67'
NUMBER OF EMPLOYEES	20	
NUMBER OF STUDENTS	200	
NON-STUDENT AREA COMMON SPACE	2,750 +/-	
REQUIRED PARKING SPACES	Proposed:	Methodology:
STUDENTS	20	1 space for every 10 children
OFFICE SPACE	14	5 spaces for each 1,000 sq. ft. of common space
TOTAL	34	
PROVIDED PARKING SPACES	50	
HANDICAPPED PARKING SPACES	Required: 2	Provided: 2
SITE COVERAGE (DAY CARE PORTION)	S.F.	Acres
BUILDING	10,000	0.23
PERVIOUS	17,242	0.40
ROADWAY/SIDEWALK	24,165	0.55
HOURS OF OPERATION	7:00am - 8:00pm	
WAIVER REQUEST	Yes: 3 (See Table this Sheet)	
VARIANCE REQUEST	No	

VARIANCE/WAIVER TABLE

Code #	Code Requirement	(V/W)	Request	Justification
LDC 6.03.02	1 space for each 10 children plus a safe pickup and dropoff area equal to 1 space per 10 children.	Waiver	Request for no dedicated drop off area.	The way this tenant handles drop off is the parents must park and physically walk their child into the day care building. Therefore, a drop off is not needed.
Comp Plan Policy 16.2	All parking lots with 100 spaces or more shall be designed with a minimum of (20) percent of the parking spaces in pervious areas.	Waiver	Request to be allowed to use asphalt paving in lieu of pervious pavers.	This project is part of a larger master development that existed before this requirement was established.
LDC 6.05.00.D.6	Ponds with fencing are required to have a 10 foot maintenance berm.	Waiver	Request to allow no maintenance berm.	The ponds on this parcel are dry detention ponds and are well maintained from the pond bottom.

UTILITY PROVIDERS
POTABLE WATER: ORANGE COUNTY
SANITARY SEWER: ORANGE COUNTY
ELECTRIC: DUKE ENERGY

LEGAL DESCRIPTION:

LOTS 1, 2, 4 AND 5, WEKIVA RIVER WALK REPLAT, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 77, PAGES 26 AND 27, OF THE PUBLIC RECORDS OF ORANGE COUNTY

CONSTRUCTION DOCUMENTS

DATE: JANUARY 14, 2016
REV 1: JANUARY 25, 2016
REV 1: FEBRUARY 4, 2016
HCE PROJECT No. 06388009
OCU PERMIT No. 100

David W. Taylor, PE
Fl. Licence No. 60928

Revisions:

No.	Date	Description
9		
8		
7		
6		
5		
4		
3		
2	02/04/2016	RESPONSE TO CITY REVIEW COMMITTEE COMMENTS NO. 2
1	02/05/2016	RESPONSE TO CITY REVIEW COMMITTEE COMMENTS

FINAL DEVELOPMENT PLAN COVER SHEET

Scale: NTS
Date: 02-03-16
Project No.: 06388009
Design: DWT
Drawn: MG
Checked: DWT

Release:
CONSTRUCTION DOCUMENTS

C-000

DRC REQUIRED NOTES

- 1. THE FINAL DEVELOPMENT PLANS AT A MINIMUM SHALL ADDRESS THE INFORMATION REQUIRED UNDER SECTION 12.02.04 OF THE APPOKA LAND DEVELOPMENT CODE.
2. NO MONUMENT SIGNS WILL BE ALLOWED FOR THE PROPOSED DAYCARE.
3. THE AGGREGATE AREA FOR A WALL SIGN SHALL NOT EXCEED TWO SQUARE FEET IN AREA FOR EACH FOOT OF FRONTAGE OF BUILDING DISPLAYING SIGNS, PROVIDED THE BUILDING SHALL NOT DISPLAY MORE THAN FOUR WALL SIGNS. IN NO CASE SHALL THERE BE MORE THAN TWO SIGNS AFFIXED ON EACH BUILDING WALL. FURTHER, THE TOTAL SQUARE FOOTAGE OF WALL SIGNS ALLOWED SHALL NOT EXCEED 200 SQUARE FEET AND ANY INDIVIDUAL WALL SIGN SHALL NOT EXCEED 100 SQUARE FEET.
4. LIGHT POLE FIXTURE CANNOT EXCEED THE HEIGHT OF THE BUILDING.
5. BASE OF LAMP POSTS SHALL BE FLUSH TO THE GROUND. NO LAMP POST SHALL BE INSTALLED ON A BOLLARD OR SIMILAR STRUCTURE THAT EXTENDS ABOVE THE SURROUNDING GRADE. LUMENS EXCEED 1.0 BEYOND THE PROPERTY LINE.
6. LIGHT POLE FOOTERS CANNOT BE EXPOSED ABOVE FINISHED GRADE.
7. LIGHT POLES ARE TO BE A MINIMUM OF TWO FEET TO THE FACE OF THE POLE FROM ANY EDGE OF PAVEMENT OR BACK OF CURB.
8. ALL FIRE ACCESS ROADWAYS, WATER LINE INFRASTRUCTURE AND FIRE HYDRANTS SHALL BE IN PLACE BEFORE BUILDING CONSTRUCTION MAY BEGIN.
9. CONTRACTOR SHALL FOLLOW FLORIDA STATUTE 633.027 CONCERNING LIGHT FRAME TRUSS CONSTRUCTION.
10. THESE PLANS ARE MEANT TO BE IN COMPLIANCE WITH CURRENT MPFA AND FLORIDA FIRE PREVENTION CODES. IF THE CONTRACTOR OR ANY SUB-CONTRACTORS OBSERVE A NON-COMPLIANT DESIGN ELEMENTS IN THESE PLANS, THEY SHALL IMMEDIATELY NOTIFY THE ARCHITECT, ENGINEER(S) AND OWNER.



ST JOHNS WATER MANAGEMENT DISTRICT
PERMIT AND ASSOCIATED DOCUMENTS
AVAILABLE UPON REQUEST.
PERMIT NO. 20567-4
NOVEMBER 09, 2015



GENERAL NOTE 20,
GENERAL NOTE 27 AND
DRAINAGE NOTE 1
UPDATED PER CITY
COMMENTS.

PAVING AND GRADING NOTES

- 1. THE CONTRACTOR SHALL PROVIDE FLAGMAN AND OTHER TRAFFIC MEASURES NECESSARY TO PROTECT AND FACILITATE TRAFFIC MOVEMENT DURING CONSTRUCTION.
13. TRAFFIC SIGHTED MARKINGS
A. ALL DRIVEWAYS EXISTING UNTO ANY PUBLIC OR PRIVATE STREET MUST HAVE A TRAFFIC CONTROL DEVICE (30" STOP SIGN MOUNTED 7' ABOVE THE PREEXISTING VEHICLE TRAVEL WAY (MEASURED FROM BOTTOM OF SIGN) AND THROUGHOUT THE SITE AS NECESSARY FOR SAFETY.)
B. ALL SIGN INSTALLATIONS SHALL COMPLY WITH SIZE, LOCATION AND HEIGHT (7" AS OUTLINED IN THE "MUTCD."
C. PAVEMENT MARKINGS - GENERAL PRINCIPLES:
1. PARKING LOT PAVEMENT MARKINGS SHALL BE WHITE (DIRECTIONAL ARROWS, STOP BARS, LINES DESIGNATING PARKING SPACES).
2. PAVEMENT MARKINGS ON TRAFFIC AISLES, PRIVATE STREETS OR PUBLIC STREETS SHALL CONFORM TO THE FOLLOWINGS:
a. WHITE LINES DELINEATE THE SEPARATION OF TRAFFIC FLOWS IN THE SAME DIRECTION (AT DRIVEWAYS, WITHIN DRIVING AISLES AND ON STREETS).
b. YELLOW LINES DELINEATE THE SEPARATION OF TRAFFIC IN THE OPPOSING DIRECTIONS (AT DRIVEWAYS, WITHIN DRIVING AISLES AND ON STREETS).
D. ALL HANDICAPPED PARKING SPACES MUST BE LEGALLY SIGNED WITH ONE REGULATION HANDICAP SIGN AND ONE BLUE PAVEMENT MARKING SYMBOL PER SPACE AND BLUE PARKING SPACE LINE ON EACH SIDE OF PARKING SPACE.
E. A 24" STOP BAR SHALL BE PROVIDED AT ALL POINTS OF EGRESS IN CONFORMANCE WITH FDOT #17346, DRAWING #3 OF B. ARROWS AND DIVIDING LINES SHALL BE IN CONFORMANCE WITH FDOT #17346, DRAWING 1 OF B.
14. SITE LIGHTING AND ELECTRICAL DESIGNED BY OTHERS.

OCU GENERAL NOTES:

- ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL
APPENDIX A
DATE: February 11, 2011
FIGURE 0N
1. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING IN PROXIMITY OF WATER MAINS, WASTEWATER FORCE MAINS, GRAVITY MAINS AND RECLAIMED WATER MAINS. MAIN LOCATIONS SHOWN ON PLANS MAY NOT BE EXACT. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING EXISTING UTILITY LOCATIONS.
2. SHOULD A PIPE EMERGENCY OCCUR, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OCU DISPATCH OPERATOR (407-836-2777) AND THE OCU INSPECTOR.
3. THE CONTRACTOR SHALL NOTIFY THE OCU CONSTRUCTION DIVISION AT LEAST SEVEN DAYS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION PROJECT BY CALLING (407) 254-9798.
4. THE CONTRACTOR SHALL NOTIFY THE OCU CONSTRUCTION DIVISION AT LEAST 48 HOURS PRIOR TO ANY UTILITIES CONSTRUCTION BY CALLING (407) 254-9798.
5. THE MATERIALS, PRODUCTS, AND CONSTRUCTION OF ALL UTILITIES CONNECTING TO THE OCU SYSTEM SHALL BE IN CONFORMANCE WITH THE ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL.
6. ALL OCU MAINS AND FACILITIES WITHIN THE LIMITS OF THE PROJECT SHALL BE SUPPORTED AND PROTECTED AGAINST DAMAGE DURING CONSTRUCTION.
7. THE CONTRACTOR, AT THE CONTRACTOR'S EXPENSE, SHALL IMMEDIATELY REPAIR ALL DAMAGES TO OCU MAINS AND FACILITIES. IF THE REPAIR IS NOT MADE IN A TIMELY MANNER, AS DETERMINED BY OCU, OCU MAY PERFORM REQUIRED REPAIRS AND CLEANUP. THE CONTRACTOR WILL BE CHARGED FOR ALL EXPENSES ASSOCIATED WITH THE REPAIR.
8. THE CONTRACTOR SHALL ADJUST ALL EXISTING OCU MAINS AND FACILITIES IN CONFLICT WITH NEW GRADE, NEW OR ALTERED ROADWAYS, SIDEWALKS, DRIVEWAYS, OR STORM WATER IMPROVEMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE TO BE ADJUSTED LIMITED TO PIPELINES, PUMP STATIONS, VALVE BOXES, AIR RELEASE VALVES, FIRE HYDRANTS, MANHOLE COVERS, AND METERS.
9. ONLY OCU SHALL OPERATE OCU WATER, WASTEWATER, AND RECLAIMED WATER VALVES. THE CONTRACTOR SHALL COORDINATE VALVE OPERATION WITH THE OCU INSPECTOR. FOR OPERATION OF VALVES NOT OWNED BY OCU, IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE APPROPRIATE UTILITY REPRESENTATIVE.
10. CONSTRUCTION ACTIVITIES SHALL NOT CAUSE INTERRUPTIONS IN WATER, WASTEWATER, OR RECLAIMED WATER SERVICE. THE CONTRACTOR SHALL COORDINATE PRE-APPROVED INTERRUPTIONS OF SERVICE WITH THE OCU INSPECTOR 7 WORKING DAYS IN ADVANCE.
11. THE CONTRACTOR SHALL PROVIDE FOR BYPASSING AND/OR HAULING WASTEWATER DURING APPROVED INTERRUPTIONS OF WASTEWATER FLOWS AND CONNECTIONS. THE CONTRACTOR SHALL SUBMIT A BYPASS PLAN SIGNED AND SEALED BY A PROFESSIONAL ENGINEER TO OCU DEVELOPMENT ENGINEERING FOR APPROVAL PRIOR TO IMPLEMENTATION BY CONTRACTOR.
12. ALL VALVES INSTALLED AS PART OF THIS CONSTRUCTION PROJECT SHALL REMAIN CLOSED DURING CONSTRUCTION. KEEP VALVES ON ALL WET TAPS CLOSED UNTIL CLEARED BY FDEP. REPAIRS TO NEWLY CONSTRUCTED WATER MAINS TO ANY EXISTING WATER MAINS UNLESS CLEARED BY FDEP AND OCU.
13. THE CONTRACTOR SHALL PROVIDE A JUMPER ASSEMBLY WITH A BACKFLOW PREVENTER FOR MAKING TEMPORARY CONNECTIONS TO AN EXISTING POTABLE WATER SOURCE IN ORDER TO CHLORINATE AND FLUSH NEW WATER MAINS WITH POTABLE WATER. ANY TEMPORARY POTABLE WATER CONNECTIONS TO RECLAIMED WATER OR FORCEMAIN SHALL ALSO BE EQUIPPED WITH A BACKFLOW PREVENTER.
14. FOR PVC PIPE THAT WILL BE OWNED AND MAINTAINED BY OCU, NO PIPE BENDING IS ALLOWED. THE MAXIMUM ALLOWABLE TOLERANCE FOR JOINT DEFLECTION IS 0.75 DEFLECTION (3-INCHES PER JOINT PER 20 FT STICK OF PIPE.) ALIGNMENT CHANGE SHALL BE MADE ONLY WITH SLEEVES AND FITTINGS.
15. FOR NON-PVC PIPE THAT WILL BE OWNED AND MAINTAINED BY OCU, LONG RADIUS CURVES, EITHER HORIZONTAL OR VERTICAL, MAY BE INSTALLED WITH STANDARD PIPE BY DEFLECTIONS AT THE JOINTS. MAXIMUM DEFLECTIONS AT PIPE JOINTS, FITTINGS AND LAYING RADIUS FOR THE VARIOUS PIPE LENGTHS SHALL NOT EXCEED 75 PERCENT OF THE PIPE MANUFACTURER'S RECOMMENDATION.

OCU NOTES:

- Information: Please refer to the 2011 OCU Standards and Construction Specifications Manual for all design requirements, specifications, and standard details. A digital copy of the 2011 OCU Manual can be downloaded from our website. Go to www.ocu.net and use the "Search Our Site" feature to search for "Utilities Manual".
Prior to initiating construction, contact the OCU Construction department at (407) 254-9798 to schedule a preconstruction meeting. The preconstruction meeting cannot be held until the stamped plans are released by the building department. Construction shall not be permitted without an OCU preconstruction meeting and set of stamped plans located on the project site.
Prior to initiating construction, contact the OCU Construction department at (407) 254-9798 to schedule a preconstruction meeting. The preconstruction meeting cannot be held until the stamped plans are released by the building department. Construction shall not be permitted without an OCU preconstruction meeting and set of stamped plans located on the project site.
All utilities (including pump station if applicable) located outside public right-of-ways and public easements shall be privately owned and maintained.
All existing utilities have been field verified at all points of connection to, and at all areas of conflict with OCU mains. (Refer to OCU Manual Section 2111 3.0.3 c.)

STANDARD SEWER AND WATER NOTES (CONT'D)

- 10. ALL POTABLE WATER MAIN MUST BEAR THE "NSF" LOGO.
11. ALL POTABLE WATER MAINS SHALL BE PVC PIPE, UNLESS OTHERWISE NOTED. PVC PIPE FOR POTABLE WATER AND FIRE PROTECTION MAINS SHALL BE A MINIMUM OF PRESSURE CLASS 150. ALL PVC PIPE SHALL BE IN ACCORDANCE WITH AWWA C900. ALL FITTINGS SHALL BE DUCTILE IRON PRESSURE CLASS 350, MECHANICAL JOINT FITTINGS. RESTRAINED JOINTS SHALL BE PROVIDED AS SPECIFIED.
12. PLASTIC WATER SERVICE PIPING AND FITTINGS 1 THROUGH 2 INCHES SHALL CONFORM TO THE REQUIREMENTS OF AWWA C900 AND C901 (POLYETHYLENE TUBING). PVC SERVICE PIPING 2 INCHES THROUGH 3 INCHES MAY BE SDR 21.
13. UNDERGROUND FIRE LINES BEYOND THE POINT OF SERVICE (P.O.S.) FOR THE FIRE PROTECTION SYSTEM SHALL MEET NFPA 24 REQUIREMENTS, AND SHALL BE INSTALLED BY A STATE CERTIFIED FIRE PROTECTION CONTRACTOR. HYDROSTATIC TESTING OF FIRE PROTECTION MAINS SHALL BE PER NFPA REQUIREMENTS.
14. PVC GRAVITY SEWER FOUR (4) INCHES THROUGH (15) INCHES SHALL BE SDR 35. JOINTS SHALL BE INTEGRAL BELL ELASTOMERIC GASKET IN ACCORDANCE WITH ASTM D3212 AND ASTM F477. ALL PVC SEWER SHALL BEAR THE "NSF-DW SEAL."
15. ALL UNDERGROUND UTILITY PIPING SHALL HAVE A MINIMUM OF (3) FEET OF COVER UNLESS SHOWN OTHERWISE ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
16. JOINT DEFLECTIONS SHALL NOT EXCEED 80% OF THE PIPE MANUFACTURERS RECOMMENDED MAXIMUM.
17. THE CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION ACTIVITY FOR UTILITY LOCATION, DIG PERMITS, ELECTRICAL PERMITS, OR OTHER PERMITS AS APPLICABLE. THE CONTRACTOR IS TO COORDINATE FULLY WITH ALL UTILITY COMPANIES REGARDING THE EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
18. THE LOCATIONS OF EXISTING UTILITIES AND STORM DRAINAGE SHOWN ON THE DRAWINGS HAVE BEEN DETERMINED FROM AVAILABLE INFORMATION AND ARE SHOWN ONLY FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER OR ENGINEER ASSUMES NO RESPONSIBILITY FOR INACCURACIES OR OMISSIONS. SHOULD EXISTING UTILITIES INTERFERE WITH THE PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY AND REQUIRE GUIDANCE FROM THE ENGINEER AND OWNER REGARDING RELOCATION OF THE PROPOSED CONSTRUCTION OR EXISTING UTILITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE AFFECTED UTILITY PROVIDERS AND TO MAKE THE ARRANGEMENTS FOR ANY RELOCATION OF EXISTING UTILITIES.
19. THE CONTRACTOR SHALL LOCATE AND VERIFY ALL HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER IN WRITING OF ANY DISCREPANCIES WHICH MAY MATERIALLY AFFECT THE WORK PRIOR TO STARTING CONSTRUCTION.
20. DURING CONSTRUCTION, ALL NEWLY PLACED WATER PIPING IS TO BE CAPPED TEMPORARILY AT ANY OPEN ENDS AND MAINTAINED UNTIL CONSTRUCTION IS COMPLETE. UNDESIRED SHOULD OPEN ENDS NOT BEING WORKED BE FOUND UNCAPPED, THE CONTRACTOR SHALL, AT NO ADDITIONAL COST TO THE OWNER, FLUSH THE WATER MAIN TO REMOVE ANY POTENTIAL SAND/SEDIMENT/DEBRIS FROM THE WATER MAIN TO SATISFACTION OF THE ENGINEER AND OWNER.
21. FIVE WORKING DAYS NOTICE WILL BE GIVEN TO THE ENGINEER OF RECORD, THE OWNER, AND THE ORANGE COUNTY UTILITIES INSPECTORS PRIOR TO TESTING ANY UTILITY SHOWN ON THESE PLANS.
22. WHEN TRENCH EXCAVATION EXCEEDS 5 FEET IN DEPTH:
A. CONTRACTOR SHALL CONFORM TO OSHA STD. 29 CFR. SECTION 1926.650.
B. THE CONTRACTOR SHALL PROVIDE WRITTEN ASSURANCE OF COMPLIANCE WITH THIS LAW.
C. TRENCH SAFETY SYSTEM AND STANDARDS COMPLIANCE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
23. A PRE-CONSTRUCTION CONFERENCE WITH ORANGE COUNTY UTILITIES MUST BE HELD PRIOR TO COMMENCEMENT OF WATER/SEWER WORK. THE CONTRACTOR SHALL NOTIFY THE ORANGE COUNTY PUBLIC UTILITIES DEPARTMENT 48 HOURS PRIOR TO ANY UTILITIES CONSTRUCTION. PH# 407-254-9798
24. ON-SITE WATER DISTRIBUTION SYSTEM, SANITARY SEWER COLLECTION SYSTEM, AND RECLAIMED WATER SYSTEM SHALL BE PRIVATELY OWNED AND MAINTAINED. ON-SITE MANHOLES WILL NOT HAVE "ORANGE COUNTY" ON THE COVER.
25. THURST BLOCKS SHALL NOT BE UTILIZED FOR RESTRAINING PIPE INSTALLED UNDER THIS CONTRACT WITHOUT SPECIFIC APPROVAL, BY LOCATION, OF THE ENGINEER AND OWNER.
26. ALL DUCTILE IRON WATER MAINS CROSSING GAS MAINS OR WITHIN TEN (10) FEET OF GAS MAINS SHALL BE POLYETHYLENE ENCASED.
27. RECLAIMED WATER AND PVC WASTEWATER FORCE MAINS 6 INCHES THROUGH 12 INCHES SHALL CONFORM TO AWWA STANDARD C900, PRESSURE CLASS 100, DR 25. AIR RELEASE VALVES SHALL BE REQUIRED AS SHOWN ON THE PLANS AND/OR AT ALL HIGH POINTS IN PROPOSED FORCEMAIN.
28. THE FOLLOWING SHALL APPLY TO ALL CONNECTIONS TO EXISTING WATER MAINS:
- CONTRACTOR SHALL VERIFY THE HORIZONTAL AND VERTICAL LOCATION, MATERIAL AND SIZE OF THE WATER MAIN TO WHICH CONNECTION IS TO BE MADE PRIOR TO AND WELL IN ADVANCE BEGINNING WORK ON THE CONNECTION.
- CONTRACTOR SHALL DETERMINE AND CONFIRM THE LOCATION AND VIABILITY OF ISOLATION VALVES FOR THE SECTION OF EXISTING PIPE TO BE CONNECTED TO.
- IN NO CASE SHALL THE PROPOSED SYSTEM BE PRESSURE TESTED AGAINST EXISTING SYSTEM VALVES.
- WITH RESPECT TO THURST RESTRAINT, CONNECTIONS TO EXISTING SYSTEMS SHALL BE CONSIDERED AS DEAD END/PLUGGED CONNECTIONS (RESTRAINED FROM THE TAPPING VALVE FOR THE LENGTH APPROPRIATE FOR THE PIPE SIZE BEING CONNECTED).
29. THE CONSTRUCTION OF ALL UTILITIES CONNECTING TO THE ORANGE COUNTY STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL DATED APRIL 2007.
30. ALL UTILITIES (INCLUDING PUMP STATIONS IF APPLICABLE) LOCATED OUTSIDE PUBLIC RIGHT OF WAYS AND PUBLIC EASEMENTS SHALL BE PRIVATELY OWNED AND MAINTAINED.

PAVING AND GRADING NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF APOPKA CONSTRUCTION DESIGN STANDARDS, ORANGE COUNTY STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND UTILITY CONSTRUCTION, LATEST EDITION, THE ORANGE COUNTY ENGINEERING STANDARDS MANUAL AND THE LATEST EDITION OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, UNLESS STATED OTHERWISE IN THE SPECIFICATIONS OR ON THE PLANS. IN CASE OF CONFLICTS BETWEEN THE REFERENCED SPECIFICATIONS AS APPLICABLE TO THE HARRIS CIVIL ENGINEERING CONSTRUCTION DRAWINGS, THE ORANGE COUNTY ENGINEERING STANDARDS MANUAL SHALL GOVERN UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATIONS OR PLANS.
2. THE CONTRACTOR SHALL STAKE ALL IMPROVEMENTS USING THE GEOMETRIC DATA PROVIDED. IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO COMPLETELY STAKE AND CHECK ALL IMPROVEMENTS TO ENSURE ADEQUATE POSITIONING, BOTH HORIZONTAL AND VERTICAL, PRIOR TO THE INSTALLATION OF ANY IMPROVEMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IN WRITING IF ANY APPARENT DISCREPANCIES ARE FOUND.
3. ALL EARTHWORK OPERATIONS SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER AND THE PROJECT SPECIFICATIONS.
4. ALL PUBLIC R.O.W. AND OTHER SODDED AREAS WHICH ARE DISTURBED DURING CONSTRUCTION SHALL BE SODDED. SLOPES STEEPER THAN 5:1 SHALL BE SODDED. ALL OTHER DISTURBED AREAS ARE TO BE FERTILIZED, SEEDDED, AND MULCHED UNLESS OTHERWISE NOTED. THESE AREAS SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL A SATISFACTORY STAND OF GRASS IS ESTABLISHED AND RESPONSIBILITY IS ACCEPTED BY THE DEVELOPER/OWNER. MAINTENANCE RESPONSIBILITIES INCLUDE MOWING, TEMPORARY IRRIGATION, AND APPLICATION OF FERTILIZER.
5. ALL FILL SHALL BE COMPACTED TO 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D-1557), UNLESS OTHERWISE NOTED ON THE PLANS, IN THE SPECIFICATIONS, OR IN THE GEOTECHNICAL REPORT.
6. THE CONCRETE COMPRESSIVE STRENGTH FOR CURB AND GUTTER SHALL BE 3000 PSI AT 28 DAYS (FOOT CLASS 1).
7. ROADWAY MARKINGS AND STRIPING SHALL BE INSTALLED IN ACCORDANCE WITH FDOT INDEX #17346 AND ORANGE COUNTY STANDARDS. STRIPING SHALL BE COORDINATED WITH THE INSPECTORS.
8. A 72-HOUR OR THREE (3) WORKING DAYS NOTICE WILL BE GIVEN TO THE ENGINEER OF RECORD AND ORANGE COUNTY PRIOR TO TESTING ANY ROADWAY SHOWN ON THESE PLANS.
9. THE CONTRACTOR SHALL OBTAIN ANY LANE CLOSURE PERMITS REQUIRED FOR CONSTRUCTION FROM THE APPLICABLE JURISDICTION.
10. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY UTILIZATION PERMIT FROM THE APPLICABLE JURISDICTION FOR ALL CONSTRUCTION OPERATIONS WITHIN PUBLIC RIGHT-OF-WAY.
11. MAINTENANCE OF TRAFFIC SHALL CONFORM TO FDOT AND/OR ORANGE COUNTY STANDARDS. CONTRACTOR SHALL PROVIDE A DETAILED MAINTENANCE OF TRAFFIC PLAN ACCEPTABLE TO THE APPLICABLE AGENCY.

GEOMETRY NOTES (CONT'D)

- 5. THE CONTRACTOR SHALL STAKE ALL IMPROVEMENTS USING THE GEOMETRIC DATA PROVIDED. IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO COMPLETELY STAKE AND CHECK ALL IMPROVEMENTS TO ENSURE ADEQUATE POSITIONING, BOTH HORIZONTAL AND VERTICAL, PRIOR TO THE INSTALLATION OF ANY IMPROVEMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IN WRITING IF ANY APPARENT DISCREPANCIES ARE FOUND.
6. BUILDING CONTROL DIMENSIONS/COORDINATES ARE TO THE INTERSECTION OF COLUMN LINES NOTED.
7. PER ORANGE COUNTY & CONTRACT REQUIREMENTS, THE CONTRACTOR SHALL MAINTAIN A SET OF "AS-BUILT" PLANS (RECORD DRAWINGS), AS DEFINED BY FLORIDA STATUTES, ON SITE. AT THE END OF CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE THE ENGINEER OF RECORD WITH AN "AS-BUILT" SURVEY OF ALL THE FACILITIES CONSTRUCTED UNDER THESE PLANS, INCLUDING BOTH HORIZONTAL AND VERTICAL MEASUREMENTS REFERENCED AND TIED TO AT LEAST TWO ORANGE COUNTY GEODETIC BENCH MONUMENTS AND/OR CERTIFIED SECTION CORNERS WHOSE COORDINATE VALUES HAVE BEEN DETERMINED BY THE COUNTY-WIDE SURVEY PROJECT. A REGISTERED SURVEYOR SHALL CERTIFY AND SEAL EACH AS-BUILT PLAN STATING THAT "THESE AS-BUILT PLANS ACCURATELY DEPICT THE ACTUAL FACILITIES AS CONSTRUCTED UNDER THESE PLANS." THE CONTRACTOR SHALL PROVIDE THE AS-BUILT PLANS IN ELECTRONIC DIGITAL FORMAT-AUTOCAD 2010 OR GREATER. FINAL AS-BUILT DRAWINGS, AS DESCRIBED ABOVE, SHALL BE SUBMITTED TO THE ENGINEER 45 DAYS PRIOR TO THE CONTRACTORS REQUEST TO THE COUNTY FOR A CERTIFICATE OF OCCUPANCY. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SIGNED AND SEALED AS-BUILT DRAWINGS FOR APPROVALS AND CERTIFICATIONS.

DRAINAGE NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF APOPKA CONSTRUCTION DESIGN STANDARDS, ORANGE COUNTY STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND UTILITY CONSTRUCTION, LATEST EDITION, THE ORANGE COUNTY ENGINEERING STANDARDS MANUAL AND THE LATEST EDITION OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, UNLESS STATED OTHERWISE IN THE SPECIFICATIONS OR ON THE PLANS. IN CASE OF CONFLICTS BETWEEN THE REFERENCED SPECIFICATIONS AS APPLICABLE TO THE HARRIS CIVIL ENGINEERING CONSTRUCTION DRAWINGS, THE ORANGE COUNTY ENGINEERING STANDARDS MANUAL SHALL GOVERN UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATIONS OR PLANS.
2. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY VERTICAL AND HORIZONTAL LOCATION OF EXISTING UTILITIES AT PROPOSED TRENCH LOCATIONS AND POINTS OF CONNECTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY UTILITY CONFLICTS OR DISCREPANCIES.
3. ALL EARTHWORK OPERATIONS SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS, PLANS AND RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER (AS APPLICABLE).
4. WHEN TRENCH EXCAVATION EXCEEDS FIVE (5) FEET IN DEPTH:
A. CONTRACTOR SHALL CONFORM TO OSHA STD. 29 CFR. SECTION 1926.650 WHICH IS INCORPORATED BY REFERENCE INTO THE PROJECT SPECIFICATIONS.
B. THE CONTRACTOR SHALL PROVIDE WRITTEN ASSURANCE OF COMPLIANCE WITH THIS LAW.
C. TRENCH SAFETY SYSTEM SHALL BE DESIGNED BY THE CONTRACTOR.
5. ALL DRAINAGE PIPING SHALL HAVE A MINIMUM OF EIGHTEEN (18) INCHES OF COVER FROM FINISH GRADES UNLESS SHOWN OTHERWISE ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
6. ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED TO CONFORM TO F.D.O.T. BEARING SPECIFICATIONS. ALL DRAINAGE STRUCTURES SHALL HAVE H-20 TRAFFIC BEARING GRATES OR COVERS.
7. CONTRACTOR SHALL INSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC., ARE CLEAN AND FUNCTIONING PROPERLY AT TIME OF ACCEPTANCE.
8. DRAINAGE STRUCTURE TOP ELEVATION REFERS TO TOP OF FINISHED STRUCTURE, OR EDGE OF PAVEMENT FOR CURB INLETS.
9. STORM SEWER STRUCTURE DATA DENOTES TOP SECTION OF STRUCTURE. CONTRACTOR TO PROVIDE TYPE "J" OR "P" BOTTOM NECESSARY TO FACILITATE STORM SEWER PIPES.

STANDARD SEWER AND WATER NOTES

- 1. ALL EXISTING UTILITIES HAVE BEEN FIELD VERIFIED AT ALL POINTS OF CONNECTION AND AREAS OF CONFLICT. ALTHOUGH THIS INFORMATION HAS BEEN OBTAINED FROM SURVEY DATA, THE CONTRACTOR MUST VERIFY FIELD CONDITIONS PRIOR TO CONSTRUCTION. DIFFERENCES DISCOVERED DURING CONSTRUCTION SHALL BE REPORT IMMEDIATELY TO THE OWNER/ENGINEER'S ATTENTION AND RESOLVED IN ACCORDANCE WITH THE STANDARDS OF ORANGE COUNTY UTILITIES.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN COPIES OF THE FDEP WATER AND WASTEWATER CONSTRUCTION PERMITS FROM THE OWNER AND MAINTAIN THEM ON THE JOB SITE AT ALL TIMES.
3. THIS PROJECT DOES NOT REQUIRE A FDEP SEWER CONSTRUCTION PERMIT PER A "NO PERMIT REQUIRED" NOTICE OBTAINED BY HCE. THE CONTRACTOR SHOULD REQUEST A COPY OF THIS NOTICE AND THE ENGINEER HAS PROVIDED A COPY OF THE FDEP CLEARANCE LETTER TO THE CONTRACTOR, ALLOWING THE SYSTEM TO BE PLACED INTO OPERATION. PROVIDE BAC T'S AT POINTS SPECIFIED IN THE F.D.E.P. PERMIT. BAC T REPORT CANNOT BE OLDER THAN 30 DAYS AT THE TIME IT IS SUBMITTED TO F.D.E.P. FROM THE TIME AS-BUILT DRAWINGS ARE APPROVED BY THE ENGINEER THE ESTIMATED TIME FOR PROCESSING AND RECEIPT OF THE F.D.E.P. CERTIFICATION IS 30 TO 45 DAYS.
5. ALL DEWATERING ACTIVITIES AND PERMITTING SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
6. UTILITY SEPARATION
A. NEW OR RELOCATED, UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT WILL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER, STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.; A HORIZONTAL DISTANCE OF AT LEAST SIX FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-TYPE SANITARY SEWER (OR A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-TYPE SANITARY SEWER IF THE BOTTOM OF THE WATER MAIN WILL BE LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER); A HORIZONTAL DISTANCE OF AT LEAST SIX FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.; AND A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM."

- B. NEW OR RELOCATED, UNDERGROUND WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OTHER PIPELINE OR AT LEAST 12 INCHES BELOW THE OTHER PIPELINE; AND NEW OR RELOCATED, UNDERGROUND WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL CROSS ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OTHER PIPELINE.
C. AT THE UTILITY CROSSINGS DESCRIBED IN PARAGRAPH 6-A ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE WILL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE OR THE PIPES WILL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORMWATER FORCE MAINS, STORMWATER FORCE MAINS OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY- OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

- 7. ALL WATER MAIN AND SANITARY SEWER MATERIALS AND APPURTENANCES SHALL CONFORM TO AND SHALL BE INSTALLED, TESTED, AND CLEARED FOR SERVICE IN ACCORDANCE WITH THE ORANGE COUNTY STANDARDS AND SPECIFICATIONS FOR WASTEWATER AND WATER MAIN CONSTRUCTION AND THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP).
8. THE CONTRACTOR SHALL PERFORM HYDROSTATIC TESTING OF ALL NEWLY INSTALLED WATER DISTRIBUTION SYSTEMS IN ACCORDANCE WITH ORANGE COUNTY UTILITIES STANDARDS AND AWWA STANDARD C600 FOR DUCTILE IRON PIPE. TESTING OF PVC PIPE SHALL BE IN ACCORDANCE WITH AWWA MANUAL M23. POTABLE WATER MAINS SHALL BE TESTED AT 150 PSI. ALL UTILITY TESTING SHALL BE PERFORMED IN THE PRESENCE OF A REPRESENTATIVE OF THE UTILITY OWNER AND THE ENGINEER (HARRIS CIVIL ENGINEERS, LLC.)
9. THE CONTRACTOR SHALL DISINFECT AND PERFORM BACTERIOLOGICAL SAMPLING AND ANALYSIS OF ALL SECTIONS OF THE WATER DISTRIBUTION SYSTEM IMPROVEMENTS IN ACCORDANCE WITH AWWA STANDARDS AND THE FDEP WATER PERMIT, AND RECEIVE APPROVAL THEREOF FROM THE RESPECTIVE WATER UTILITY, ENGINEER OF RECORD, AND FDEP, FOR PLACING THE FACILITIES INTO SERVICE. DISINFECTION OF THE WATER DISTRIBUTION SYSTEM SHALL BE PERFORMED IN ACCORDANCE WITH AWWA 651 "DISINFECTING WATER MAINS" AND ORANGE COUNTY UTILITIES REQUIREMENTS.

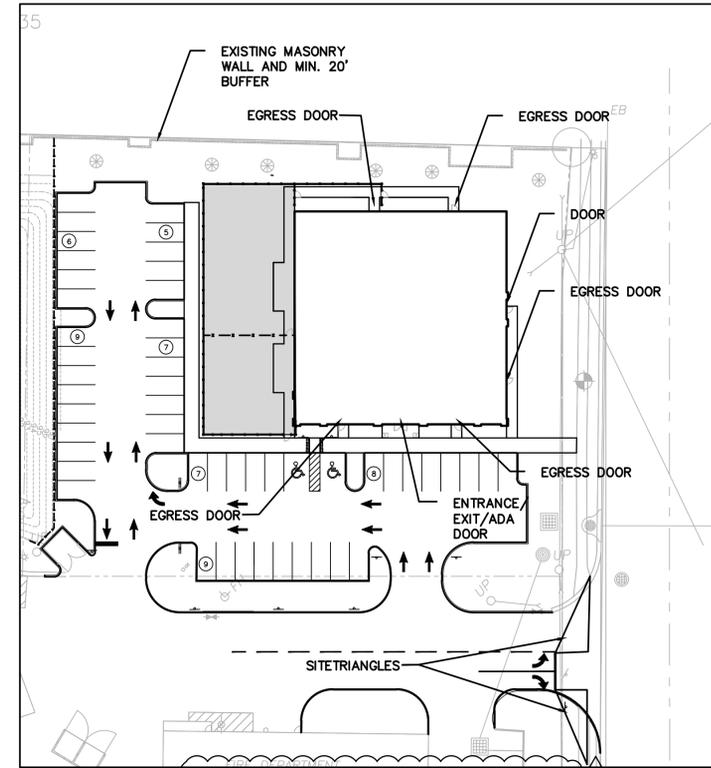
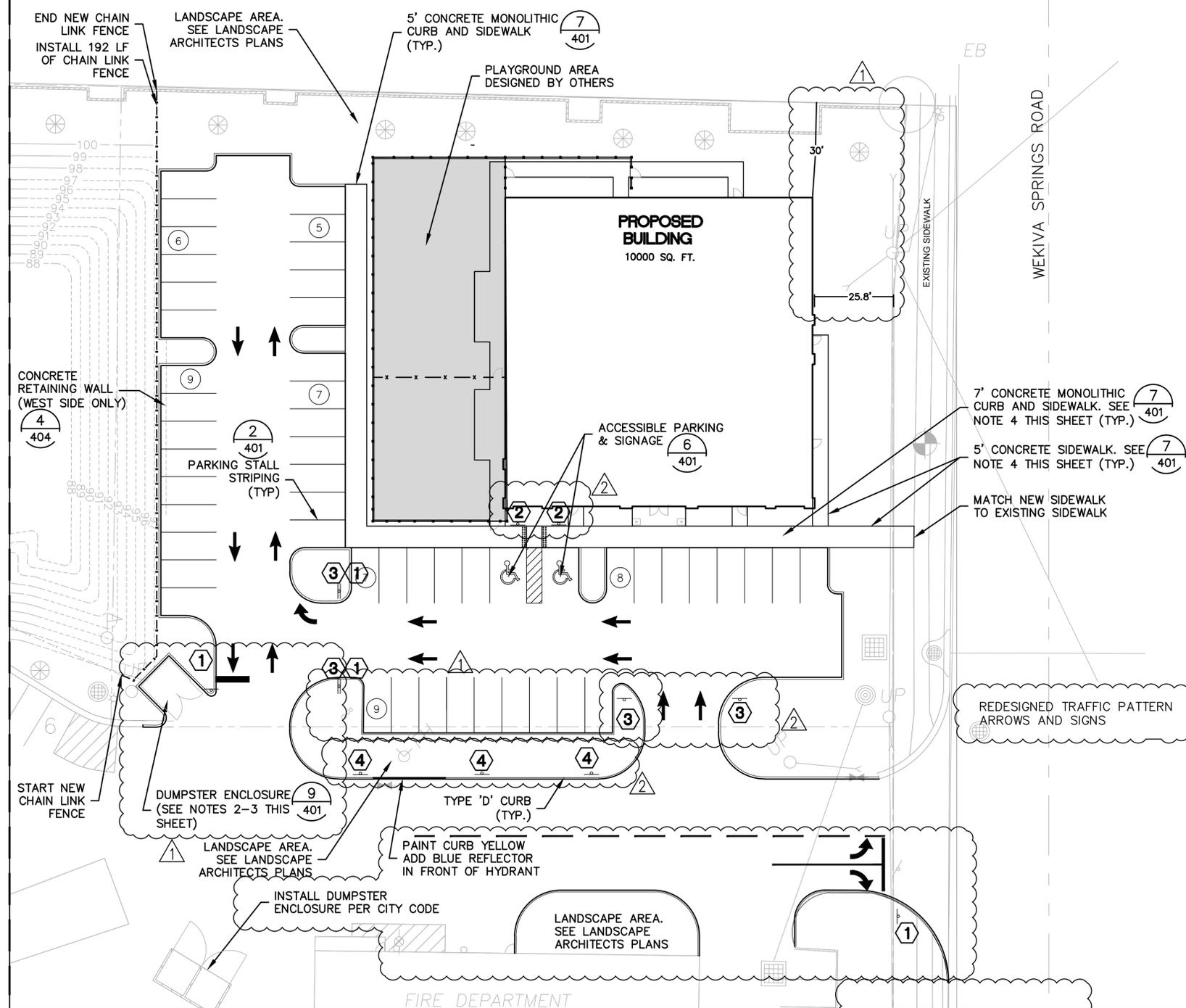
GENERAL NOTES

- 1. RESERVED.
2. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SIGNS, BARRIERS, LABOR, EQUIPMENT, ETC., TO MAINTAIN ADEQUATE FLOW OF TRAFFIC AND VEHICULAR AND PEDESTRIAN TRAFFIC ALONG ROADWAYS AND INTO AND OUT OF SITE AND BUILDINGS FOR THE DURATION OF THE CONSTRUCTION.
3. THE CONTRACTOR SHALL PROVIDE ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS DURING CONSTRUCTION.
4. SURVEY TOPOGRAPHIC AS PROVIDED BY TINKLEPAUGH SURVEYING.
5. THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY SUBCONTRACTORS. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING OWNER ASSUMES NO RESPONSIBILITY FOR THE CONDITION OF THE EXISTING SITE OR EXISTING STRUCTURES AT THE TIME OF BIDDING OR THEREAFTER.
6. ALL CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE BUILDING CODES AND LOCAL RESTRICTIONS. THE CONTRACTOR MUST COMPLY WITH THE CONTRACTOR REGISTRATION REQUIREMENTS OF ALL GOVERNING AUTHORITIES.
7. THE CONTRACTOR SHALL REPORT TO THE ENGINEER ANY ERROR, INCONSISTENCIES, OR OMISSIONS HE MAY DISCOVER. THE CONTRACTOR IS RESPONSIBLE FOR CORRECTING ANY ERRORS AFTER THE START OF CONSTRUCTION WHICH HAVE NOT BEEN BROUGHT TO THE ATTENTION OF THE ENGINEER. THE MEANS OF CORRECTING ANY ERRORS SHALL FIRST BE APPROVED BY THE ENGINEER AND OWNER.
8. THE CONTRACTOR SHALL REFER AND CONFORM TO ALL RECOMMENDATIONS AND FINDINGS AS SET FORTH IN THE GEOTECHNICAL REPORT. THE OWNER AND ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY OF THE FINDINGS OR THE FINAL RECOMMENDATIONS. THE CONTRACTOR SHALL CONTACT THE OWNER FOR INSTRUCTIONS PRIOR TO THE CONTINUATION OF WORK SHOULD ANY UNUSUAL CONDITIONS BECOME APPARENT DURING FOUNDATION OR FOUNDATION CONSTRUCTION.
9. EXISTING ELEVATIONS AND LOCATIONS TO BE JOINED SHALL BE VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION. IF THEY DIFFER FROM THOSE SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER SO THAT MODIFICATIONS CAN BE MADE BEFORE PROCEEDING WITH THE WORK.
10. DISCREPANCIES BETWEEN PORTIONS OF THE CONTRACT DOCUMENTS ARE NOT INTENDED. THE CONTRACTOR IS TO CLARIFY WITH THE ENGINEER AND OWNER ANY SUCH DISCREPANCIES PRIOR TO COMMENCING WORK.
11. PRIOR TO COMMENCEMENT OF WORK THE CONTRACTOR WILL COORDINATE HIS ACTIVITIES WITH ALL THE UTILITY PROVIDERS/OWNERS SERVING THE AREA. THE CONTRACTOR IS TO COORDINATE FULLY WITH UTILITY PROVIDERS/OWNERS ON EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
12. THE LOCATIONS OF ALL EXISTING UTILITIES AND STORM DRAINAGE SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM AVAILABLE INFORMATION AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND ENGINEER ASSUME NO RESPONSIBILITY FOR INACCURACY. PRIOR TO THE START OF CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY AND REQUIRE GUIDANCE FROM THE UTILITY COMPANY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING ANY UNDERGROUND UTILITY. EXISTING UTILITIES WHICH INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE RELOCATED AS DIRECTED ON THE PLANS.
13. ALL PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
14. THE PROJECT SPECIFICATIONS AND GENERAL CONDITIONS ARE TO BE FOLLOWED IN ADDITION TO THESE PLANS.
15. SUBSURFACE INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FOR USE IN ESTABLISHING DESIGN CRITERIA FOR THE PROJECT. THE ACCURACY OF THIS INFORMATION IS NOT GUARANTEED AND IS NOT TO BE CONSIDERED AS PART OF THE PLANS GOVERNING CONSTRUCTION OF THE PROJECT.
16. PRIOR TO CONSTRUCTION ACTIVITIES IN ANY EASEMENT OR RIGHT-OF-WAY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSURANCE NECESSARY TO CONDUCT WORK WITHIN THE EASEMENT OR RIGHT-OF-WAY. THE CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE AGENCY FOR MAINTENANCE OF TRAFFIC METHODS OF ROADWAY CONSTRUCTION AND REPAIR, AND RESTORATION OF EASEMENT OR RIGHT-OF-WAY TO ACCEPTABLE CONDITIONS.
17. THE CONTRACTOR IS ADVISED THAT NO WORK SHALL PROCEED UNTIL ALL APPLICABLE PERMITS ARE ISSUED AND THE APPROPRIATE CONSTRUCTION PERMIT HAS BEEN ISSUED BY THE LOCAL AUTHORITY. THE CONTRACTOR IS TO REVIEW AND UNDERSTAND ALL REQUIREMENTS/CONDITIONS OF SAID PERMITS. THE CONTRACTOR SHALL BRING ANY CONFLICTS BETWEEN THE CONSTRUCTION PLANS/SPECIFICATIONS AND THE PERMIT REQUIREMENTS/CONDITIONS TO THE IMMEDIATE ATTENTION OF THE OWNER/DEVELOPER AND THE ENGINEER FOR CLARIFICATION. COPIES OF ALL PERMITS SHALL BE MAINTAINED AT THE JOB SITE, IN ACCORDANCE WITH REGULATIONS, BY THE CONTRACTOR AND MADE READILY ACCESSIBLE THROUGHOUT THE DURATION OF THE PROJECT.
18. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ORANGE COUNTY STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND UTILITY CONSTRUCTION, LATEST EDITION, THE ORANGE COUNTY ENGINEERING STANDARDS MANUAL AND THE LATEST EDITION OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, UNLESS STATED OTHERWISE IN THE SPECIFICATIONS OR ON THE PLANS. IN CASE OF CONFLICTS BETWEEN THE REFERENCED SPECIFICATIONS AS APPLICABLE TO THE HARRIS CIVIL ENGINEERING CONSTRUCTION DRAWINGS, THE ORANGE COUNTY ENGINEERING STANDARDS MANUAL SHALL GOVERN UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATIONS OR PLANS.
19. ALL EXCESS SUITABLE AND UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR UNLESS OTHERWISE DIRECTED BY THE ENGINEER OR OWNER. ALL DEBRIS RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR. OFF-SITE DISPOSAL OF MATERIALS AND DEBRIS REMOVED FROM THE SITE SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
20. IF DEWATERING CAPACITY REQUIRES A CONSUMPTIVE USE PERMIT (C.U.P.) IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE PERMIT THROUGH THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT.
21. PRIOR TO COMMENCEMENT OF CONSTRUCTION AND EXCAVATION ACTIVITIES, THE CONTRACTOR SHALL PERFORM GROUNDWATER TESTING IN ACCORDANCE WITH THE ENVIRONMENTAL PROTECTION AGENCY FEDERAL REGISTER, PAGE 42739, PART 1A.3, TO DETERMINE PETROLEUM CONTAMINATION LEVELS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING N.P.D.E.S. PERMIT, IF REQUIRED, IN ORDER TO DISCHARGE ANY GROUNDWATER ENCOUNTERED DURING CONSTRUCTION AND DEWATERING OPERATIONS.
22. IF SOLVENT CONTAMINATION IS FOUND IN A PIPE TRENCH OR OTHER EXCAVATION, WORK SHALL BE STOPPED AND APPROVED BY THE LOCAL AUTHORITY. THE CONTRACTOR SHALL NOTIFY THE AGENCY, DUCTILE IRON PIPE, FITTINGS AND SILENT RESISTANT GASKET MATERIAL SUCH AS FLUOROCARBON SHALL BE USED IN THE CONTAMINATED AREA. THE DUCTILE PIPE SHALL EXTEND AT LEAST 100 FEET BEYOND ANY CONTAMINATED SOIL THAT IS EXCAVATED. THE PROPER AUTHORITIES WILL BE NOTIFIED AND THE CONTAMINATED SOIL HELD FOR PROPER DISPOSAL.
23. INGRESS AND EGRESS TO THE SITE DURING CONSTRUCTION IS ALLOWED ONLY THROUGH APPROVED SITE DRIVEWAYS.
24. ALL WORK SHALL BE PERFORMED IN A SAFE MANNER. ALL SAFETY RULES AND GUIDELINES OF O.S.H.A. SHALL BE FOLLOWED. THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR ANY INJURIES TO HIS EMPLOYEES, AND ANY DAMAGE TO PRIVATE PROPERTY OR PERSONS DURING THE COURSE OF THIS PROJECT. ALL COSTS ASSOCIATED WITH COMPLYING WITH OSHA REGULATIONS AND THE FLORIDA TRENCH SAFETY ACT MUST BE INCLUDED IN THE CONTRACTORS BID.
25. IS IN A RIGHT-OF-WAY OR EASEMENT, THE CONTRACTOR'S ONE YEAR WARRANTY SHALL EXTEND TO ALL IMPROVEMENTS SHOWN ARE TO BE WARRANTED BY THE CONTRACTOR TO THE OWNER/DEVELOPER FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY THE OWNER/DEVELOPER. IF THE WORK THE ENTITY HOLDING THE RIGHT-OF-WAY OR EASEMENT.
26. THE CONTRACTOR SHALL COORDINATE CONSTRUCTION WITH ALL OTHER CONTRACTORS WORKING IN THE VICINITY OF THE PROJECT. IN THE EVENT OF ANY CONFLICT WHATSOEVER, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND OWNER PRIOR TO PROCEEDING WITH CONSTRUCTION.
27. THE CONTRACTOR WILL CONTRACT WITH AN INDEPENDENT TESTING LABORATORY TO PERFORM ALL MATERIAL AND SOIL TESTING AS REQUIRED BY THE CITY OF APOPKA AND ORANGE COUNTY. THESE CONSTRUCTION PLANS, AND THE SPECIFICATIONS, TESTS SHALL INCLUDE DENSITY TESTS IN ALL PAVEMENT AND BUILDING PAD AREAS, IN ALL UTILITY TRENCHES AND IN PAVEMENT AREAS. THE PROJECT GEOTECHNICAL ENGINEER SHALL MAKE RECOMMENDATION FOR UNDERDRAIN PLACEMENT, CONCRETE TESTING, AND ALL OTHER MATERIAL TESTING. PRIOR TO PAVEMENT BASE PLACEMENT, IF NECESSARY.

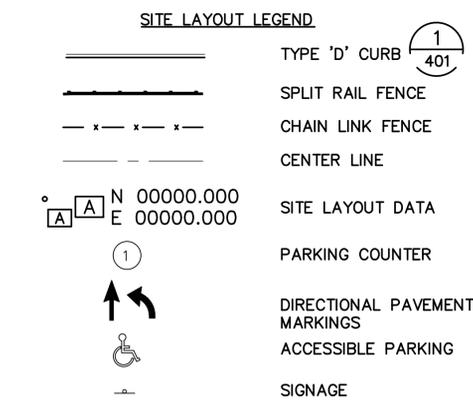
GEOMETRY NOTES

- 1. ALL TOPOGRAPHIC SURVEY DATA USED AND CONDITIONS ASSUMED TO BE PRESENT IN PREPARATION OF THESE PLANS WAS PROVIDED BY TINKLEPAUGH SURVEYING, HARRIS CIVIL ENGINEERS, LLC. DOES NOT ASSUME RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE DATA.
2. THE CONTRACTOR SHALL VERIFY AND LOCATE ALL VERTICAL AND HORIZONTAL CONTROL POINTS PRIOR TO CONSTRUCTION BY EMPLOYING A LICENSED LAND SURVEYOR, REGISTERED IN THE STATE OF FLORIDA. IF ANY DISCREPANCIES SHOULD BE FOUND, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND SURVEYOR OF THE CONDITION IN WRITING PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES.
3. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL SURVEY AND PROPERTY MONUMENTS. IF A MONUMENT IS DISTURBED, THE CONTRACTOR SHALL CONTACT WITH THE SURVEYOR OF RECORD FOR REINSTATEMENT OF THE MONUMENT AT NO COST TO THE OWNER.
4. ALL PAVEMENT OFFSETS, RADI AND DIMENSIONS SHOWN ARE TO PROPOSED EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.

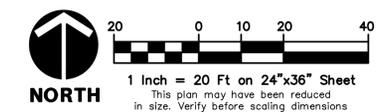
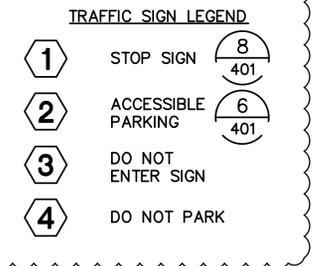
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 Layout: C-100
 Project: 19080900
 Date: 02/03/16
 Author: MG
 Checked: DWT
 Title: FINAL DEVELOPMENT PLAN SITE PLAN
 Description: 19080900



DAY CARE PROJECT SITE DATA TABLE		
ACREAGE/SQUARE FOOTAGE	Acres	S.F.
TOTAL AFFECTED AREA	4.19	182,516.40
MAIN SITE	1.18	51,407.03
POND 1	1.48	64,671.96
POND 2	1.53	66,437.41
BUILDING HEIGHT	Proposed: 23.16'	Max : 35'
LANDSCAPE BUFFER	Required: 15'	Min : >15' (see landscape plans)
SETBACK DATA	Required:	Provided:
FRONT TO PROPERTY LINE	10'	27.12'
FRONT TO ROAD CENTER LINE	50'	76.83'
SIDE	10'	492.09'
REAR	30'	30.67'
NUMBER OF EMPLOYEES	20	
NUMBER OF STUDENTS	200	
NON-STUDENT AREA COMMON SPACE	2,750 +/-	
REQUIRED PARKING SPACES	Proposed:	Methodology:
STUDENTS	20	1 space for every 10 children
OFFICE SPACE	14	5 spaces for each 1,000 sq. ft. of common space
TOTAL	34	
PROVIDED PARKING SPACES	50	
HANDICAPPED PARKING SPACES	Required: 2	Provided: 2
SITE COVERAGE (DAY CARE PORTION)	S.F.	Acres
BUILDING	10,000	0.23
PERVIOUS	17,242	0.40
ROADWAY/SIDEWALK	24,165	0.55
HOURS OF OPERATION	7:00am - 6:00pm	
WAVAR REQUEST	Yes: 3 (See Table this Sheet)	
VARIANCE REQUEST	No	



- NOTE:**
- DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED
 - DIMENSIONS AND LAYOUT OF DUMPSTER ENCLOSURE TO BE CONFIRMED WITH OWNER PRIOR TO CONSTRUCTION OF ENCLOSURE AREA.
 - STRUCTURAL AND ARCHITECTURAL DESIGN OF WALL AND GATE STRUCTURES BY OTHERS
 - SIDEWALK JOINT PATTERN
INSTALL CONTRACTION/CONTROL JOINTS EVERY 4'
INSTALL EXPANSION JOINTS EVERY 16'



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 EB 9814

**WEKIVA RIVERWALK LOT 1 SHOPPING CENTER
 AND DAYCARE BUILDING**
 EAST SEMORAN BLVD.
 APOPKA, FL 32703

Revisions:

No.	Date	Description
1	02/03/16	RESPONSE TO CITY REVIEW COMMITTEE COMMENTS NO. 2
2	02/04/16	RESPONSE TO CITY REVIEW COMMITTEE COMMENTS NO. 1
3	02/05/16	RESPONSE TO CITY REVIEW COMMITTEE COMMENTS NO. 1
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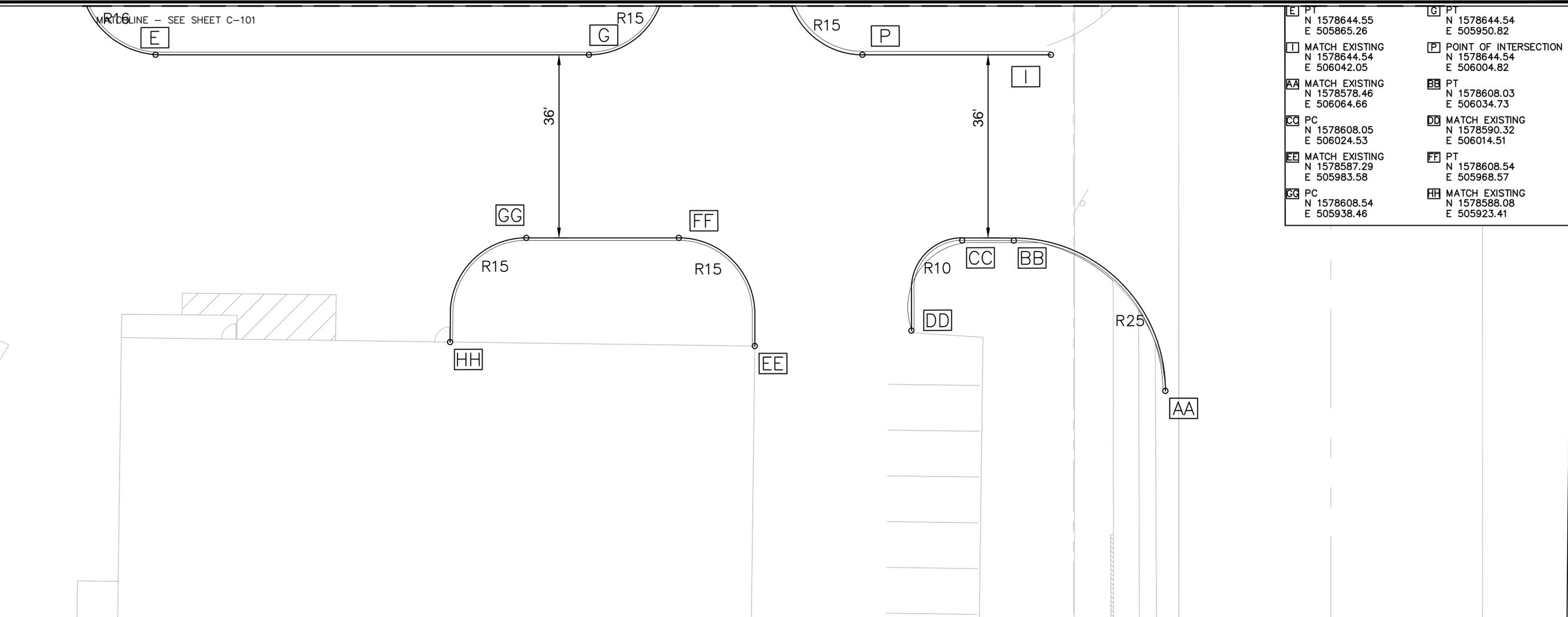
Scale: 1"=20'
 Date: 02-03-16
 Project No.: 06388009
 Design: DWT
 Drawn: MG
 Checked: DWT

**FINAL DEVELOPMENT PLAN
 SITE PLAN**

Release:
 CONSTRUCTION DOCUMENTS

C-100

File Name & Location: C:\PROJ\06388000\CIVIL SHEETS\C-100 Site.dwg Layout: C-102 Printed: Thu, 04 Feb 2016, 8:50
 PLOTTED BY: DAVID W. TAYLOR, PE PLOTTED DATE: 02/03/16 PLOTTED SCALE: 1/8" = 1'-0" PLOTTED SHEET: 48 OF 48
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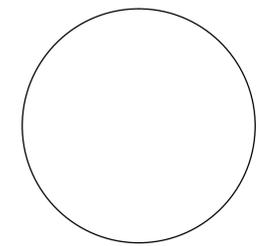
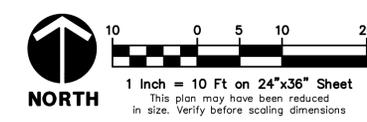
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AA MATCH EXISTING N 1578578.46 E 506064.66	BB PT N 1578608.03 E 506034.73
CC PC N 1578608.05 E 506024.53	DD MATCH EXISTING N 1578590.32 E 506014.51
EE MATCH EXISTING N 1578587.29 E 505983.58	FF PT N 1578608.54 E 505968.57
GG PC N 1578608.54 E 505938.46	HH MATCH EXISTING N 1578588.08 E 505923.41

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**WEKIVA RIVERWALK LOT 1 SHOPPING CENTER
 AND DAYCARE BUILDING**
 EAST SEMORAN BLVD.
 APOPKA, FL 32703

No.	Date	Description
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3		
2	02/04/2016	RESPONSE TO CITY REVIEW COMMITTEE COMMENTS NO. 2
1		

Revisions:
 FINAL DEVELOPMENT PLAN
 GEOMETRY PLAN
 Scale: 1"=20'
 Date: 02-03-16
 Project No.: 06388009
 Design: DWT
 Drawn: MG
 Checked: DWT

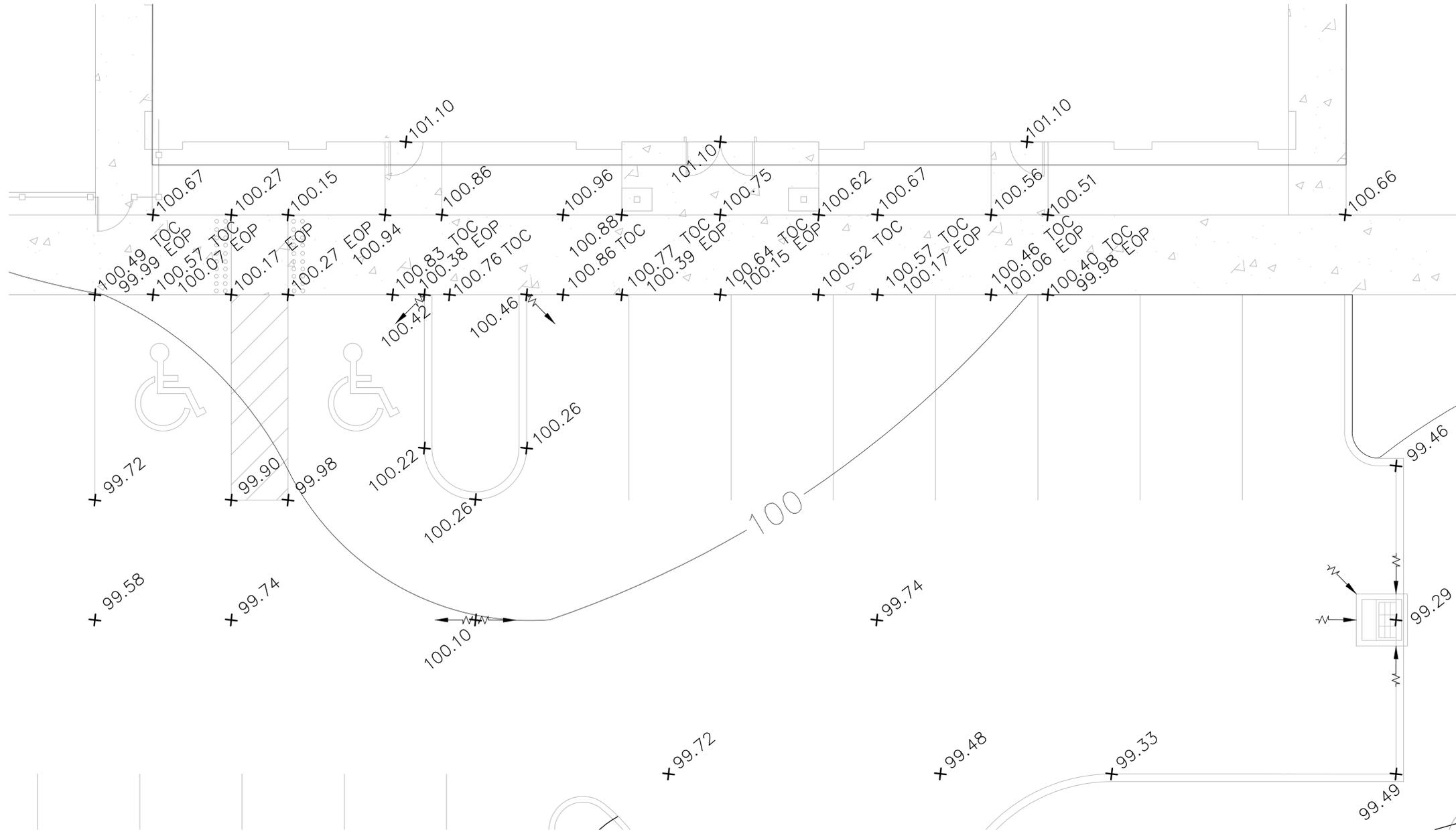


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Release: CONSTRUCTION DOCUMENTS

C-102

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- NOTE:
- (1) ALL ELEVATIONS SHOWN ARE SPOTS ON THE PAVEMENT UNLESS OTHERWISE SPECIFIED.
 - (2) PROPOSED MODIFIED PONDS WILL BE OVER-EXCAVATED ACCORDING TO PG. 2 OF THE SOILS REPORT PERFORMED BY THE GEOTECHNICAL ENGINEER.

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**WEKIVA RIVERWALK LOT 1 SHOPPING CENTER
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EAST SEMORAN BLVD.
APOPKA, FL 32703

Revisions:

No.	Date	Description
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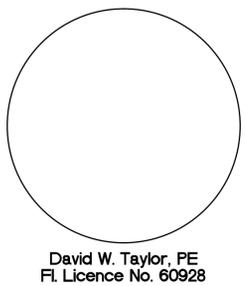
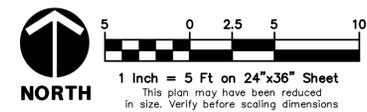
**FINAL DEVELOPMENT PLAN
GRADING PLAN**

Scale: 1" = 10'
Date: 02-03-16
Project No: 06388009

Design: DWT
Drawn: MG
Checked: DWT

Release:

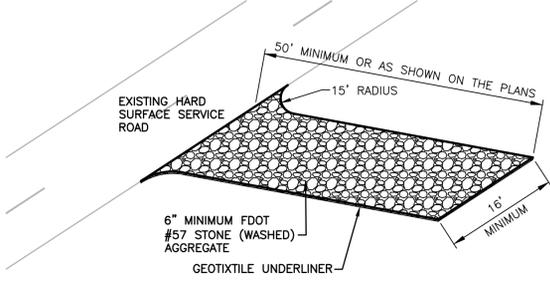
CONSTRUCTION DOCUMENTS



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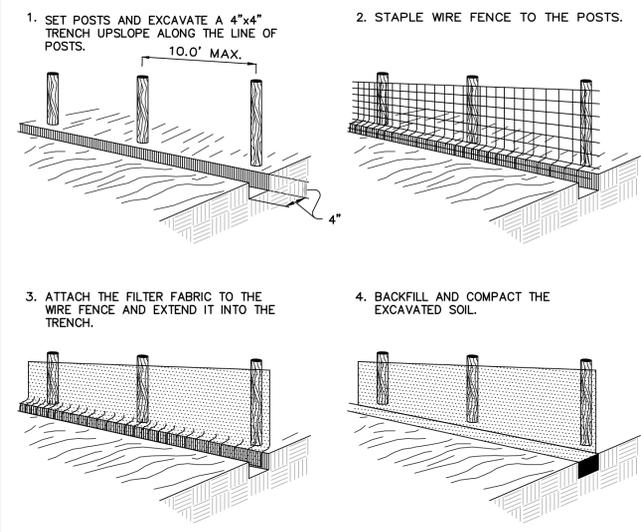
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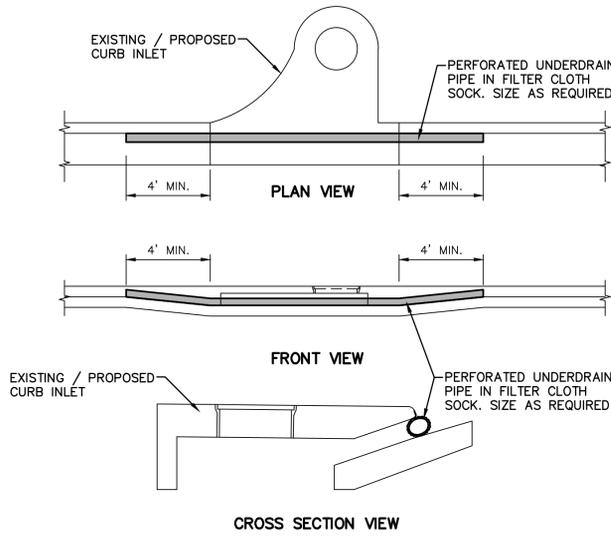
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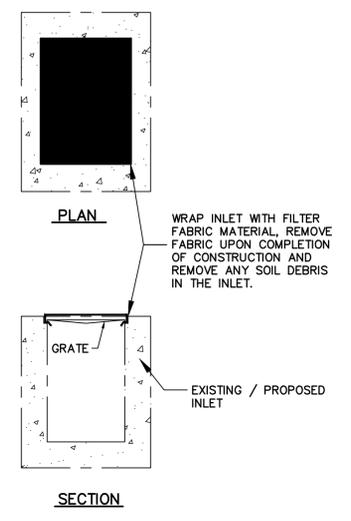
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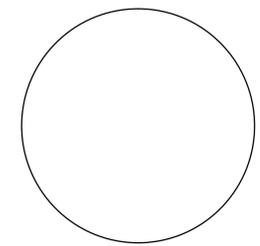
CURB INLET PROTECTION

N.T.S. 3
400



INLET PROTECTION FILTER FABRIC DETAIL

N.T.S. 4
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**WEKIVA RIVERWALK LOT 1 SHOPPING CENTER
AND DAYCARE BUILDING**
EAST SEMORAN BLVD.
APOPKA, FL. 32703

Revisions:

No.	Date	Description
9		
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**FINAL DEVELOPMENT PLAN
DETAILS**

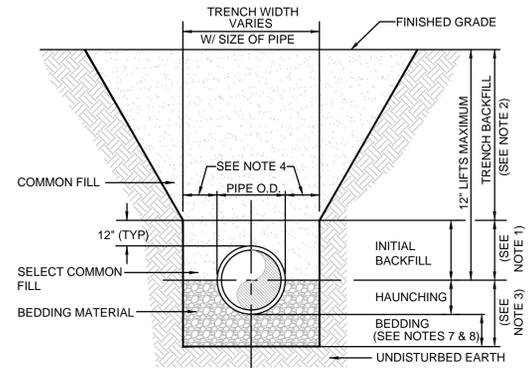
Scale: NTS
Date: 02-03-16
Project No: 06388009

Design: DWT
Drawn: MG
Checked: DWT

Release:
CONSTRUCTION DOCUMENTS

C-400

APPENDIX A STANDARD DRAWINGS GENERAL
DATE: February 11, 2011 BEDDING AND TRENCHING - TYPE A FIGURE A101



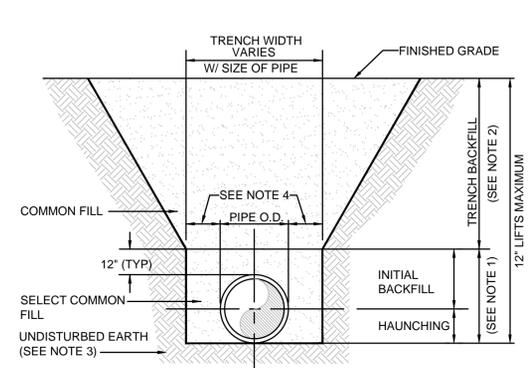
- NOTES:
- INITIAL BACKFILL: SELECT COMMON FILL COMPACTED TO 95% (98% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
 - TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% (98% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
 - TYPE A BEDDING MATERIAL SHALL CONFORM TO FDOT NO. 57 AGGREGATE.
 - 15" MAX. (12" MIN.) FOR PIPE DIAMETER LESS THAN 24" AND 24" MAX (12" MIN) FOR PIPE DIAMETER 24" AND LARGER.
 - WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
 - ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
 - BEDDING DEPTH SHALL BE 4" MINIMUM FOR PIPE DIAMETER UP TO 12" AND 6" MINIMUM FOR PIPE DIAMETER 16" AND LARGER.
 - DEPTH FOR REMOVAL OF UNSUITABLE MATERIAL SHALL GOVERN DEPTH OF BEDDING ROCK BELOW THE PIPE. UTILITIES SHALL DETERMINE IN THE FIELD REQUIRED REMOVAL OF UNSUITABLE MATERIAL TO REACH SUITABLE FOUNDATION.
 - FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN ORANGE COUNTY RIGHT-OF-WAY SHALL COMPLY WITH REQUIREMENTS OF RW UTILIZATION REGULATIONS AND ROAD CONSTRUCTION SPECIFICATIONS.

**BEDDING & TRENCHING
TYPE A**

N.T.S.

1
402

APPENDIX A STANDARD DRAWINGS GENERAL
DATE: February 11, 2011 BEDDING AND TRENCHING - TYPE B FIGURE A102



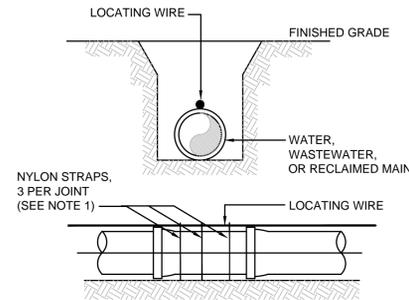
- NOTES:
- INITIAL BACKFILL AND HAUNCHING: SELECT COMMON FILL COMPACTED TO 95% (98% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
 - TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% (98% UNDER PAVEMENT) OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
 - PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE A BEDDING AND TRENCHING DETAIL MAY BE REQUIRED AS DIRECTED BY UTILITIES.
 - 15" MAX. (12" MIN.) FOR PIPE DIAMETER LESS THAN 24" AND 24" MAX (12" MIN) FOR PIPE DIAMETER 24" AND LARGER.
 - WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
 - ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
 - FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN ORANGE COUNTY RIGHT-OF-WAY SHALL COMPLY WITH REQUIREMENTS OF RW UTILIZATION REGULATIONS AND ROAD CONSTRUCTION SPECIFICATIONS.

**BEDDING & TRENCHING
TYPE B**

N.T.S.

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402

APPENDIX A STANDARD DRAWINGS GENERAL
DATE: February 11, 2011 PIPE LOCATING WIRE FIGURE A114



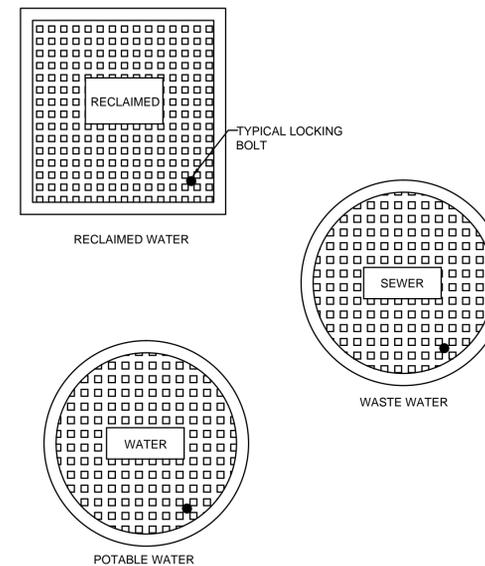
- NOTES:
- ALL PIPE SHALL REQUIRE INSULATED LOCATING WIRE (10 GAUGE SOLID COPPER) CAPABLE OF DETECTION BY A CABLE LOCATOR AND SHALL BE WRAPPED WITH NYLON STRAPS TO TOP CENTERLINE OF THE PIPE.
 - LOCATING WIRE SHALL BE CONTINUOUS INSIDE VALVE BOXES AND SHALL EXTEND 12" ABOVE TOP OF COLLAR.
 - WIRE INSULATION SHALL BE COLOR CODED FOR THE TYPE OF PIPE BEING INSTALLED.

PIPE LOCATION WIRE

N.T.S.

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402

APPENDIX A STANDARD DRAWINGS GENERAL
DATE: February 11, 2011 TYPICAL VALVE BOX COVER FIGURE A110



- NOTE:
- LOCKING LIDS ARE REQUIRED ON ALL VALVE BOXES.

TYPICAL VALVE BOX COVER

N.T.S.

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APPENDIX A STANDARD DRAWINGS GENERAL
DATE: February 11, 2011 SEPARATION REQUIREMENTS FOR WATER, WASTEWATER AND RECLAIMED WATER MAINS FIGURE A116

PROPOSED UTILITY	HORIZONTAL & VERTICAL SEPARATION REQUIREMENTS							
	POTABLE WATER		RECLAIMED WATER		WASTEWATER (GRAVITY & FM)		STORM SEWER	
	HORIZ	VERT	HORIZ	VERT	HORIZ	VERT	HORIZ	VERT
POTABLE WATER	3' NOTE 1	12"	3' NOTE 1 & 3	12" NOTE 3	6' NOTE 3	12" NOTE 3	3' NOTE 1 & 3	12'/18" NOTE 2 & 3
RECLAIMED WATER	3' NOTE 1 & 3	12" NOTE 3	3' NOTE 1	12" NOTE 1	3' NOTE 1	12" NOTE 1	3' NOTE 1	12'/18" NOTE 2
WASTEWATER (GRAVITY AND FM)	6' NOTE 3	12" NOTE 3	3' NOTE 1	12" NOTE 1	3' NOTE 1	12" NOTE 1	3' NOTE 1	12'/18" NOTE 2
RIGHT OF WAY	3' NOTE 1	N/A	3' NOTE 1	N/A	3' NOTE 1	N/A	N/A	N/A

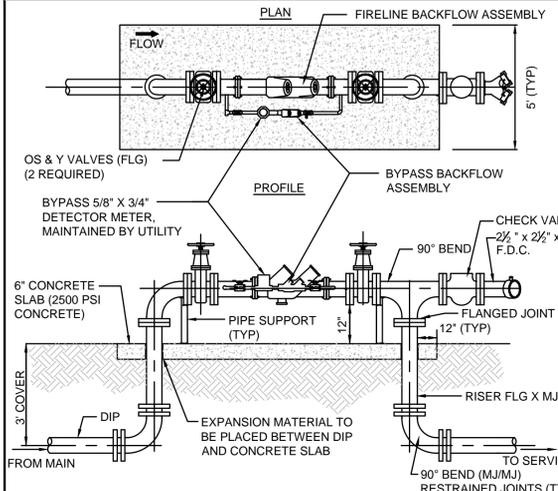
- NOTES:
- THIS SEPARATION REQUIREMENT IS TO PROVIDE ACCESSIBILITY FOR CONSTRUCTION AND MAINTENANCE. THREE FEET OF HORIZONTAL SEPARATION IS THE MINIMUM FOR PIPES WITH THREE FEET OF COVER. FOR PIPES INSTALLED AT GREATER DEPTHS, PROVIDE AN ADDITIONAL FOOT OF SEPARATION FOR EACH ADDITIONAL FOOT OF DEPTH.
 - THE 18-INCH SEPARATION REQUIREMENT APPLIES WHEN THE STORM PIPE CROSSES ABOVE THE OCU MAIN, AND WHEN THE STORM PIPE HAS A DIAMETER EQUAL TO OR GREATER THAN 24 INCHES. OTHERWISE, THE REQUIRED SEPARATION IS 12 INCHES.
 - THIS SEPARATION REQUIREMENT COMPLIES WITH MINIMUM FDEP SEPARATION REQUIREMENTS OUTLINED IN 62-555.314, FAC. VARIANCES FROM THE FDEP REQUIREMENTS MUST COMPLY WITH 62-555.314(5), FAC AND MUST BE APPROVED INDIVIDUALLY BY BOTH FDEP AND OCU.
 - DISTANCES GIVEN ARE FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE.
 - NO WATER PIPE SHALL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF SANITARY OR STORM WATER MANHOLE OR STRUCTURE.

**SEPARATION REQUIREMENTS
FOR WATER, WASTEWATER
AND RECLAIMED WATER MAINS**

N.T.S.

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402

APPENDIX A STANDARD DRAWINGS GENERAL
DATE: February 11, 2011 DOUBLE DETECTOR CHECK VALVE ASSEMBLY FIGURE A202



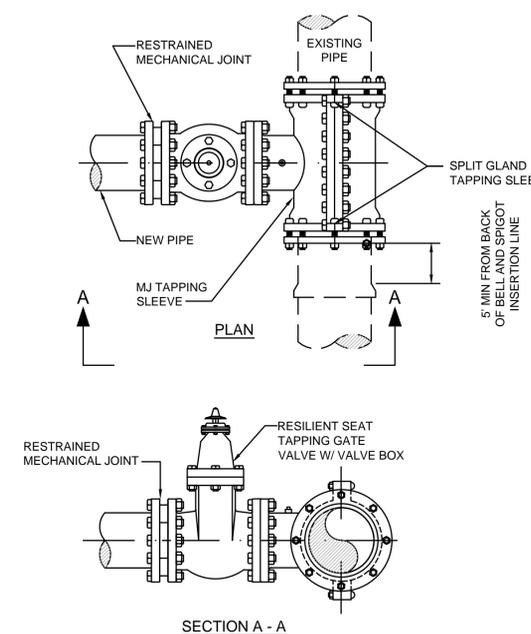
- NOTES:
- REQUIRED FOR SITES WITH SEPARATE DOMESTIC AND FIRE SYSTEM SUPPLY PIPING.
 - BACKFLOW ASSEMBLY SHALL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER. UTILITIES SHALL OWN AND MAINTAIN THE METER.
 - UTILITY EASEMENT REQUIRED FOR BY-PASS METER READING. MINIMUM EASEMENT SIZE IS 10 FEET BY 15 FEET.
 - DETAIL NOT APPLICABLE WHEN AN RPZ IS REQUIRED IN ACCORDANCE WITH THE BACKFLOW PREVENTION MANUAL.
 - SERVICES 4-INCH AND LARGER SHALL BE DIP FROM THE POINT OF CONNECTION AT THE MAIN TO THE METER ASSEMBLY IF THE MAIN IS ON THE SAME SIDE OF THE STREET AS THE ASSEMBLY. IF THE MAIN IS ON THE OPPOSITE SIDE OF THE STREET AS THE ASSEMBLY, A MINIMUM OF ONE SEGMENT OF PIPE IMMEDIATELY UPSTREAM FROM THE METER ASSEMBLY SHALL BE DIP.
 - ALL FLANGES: PIPE, VALVES AND APPURTENANCES SHALL HAVE 316 S.S. HARDWARE.

**DOUBLE DETECTOR CHECK
VALVE ASSEMBLY**

N.T.S.

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402

APPENDIX A STANDARD DRAWINGS GENERAL
DATE: February 11, 2011 MJ TAPPING SLEEVE AND GATE VALVE ASSEMBLY FOR WATER AND RECLAIMED WATER FIGURE A121-1



**MJ TAPPING SLEEVE AND GATE
ASSEMBLY FOR WATER AND
RECLAIMED WATER**

N.T.S.

7
402

Revisions:

No.	Date	Description
9		
8		
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**FINAL DEVELOPMENT PLAN
DETAILS**

Scale: NTS
Date: 02-03-16
Project No.: 06388009

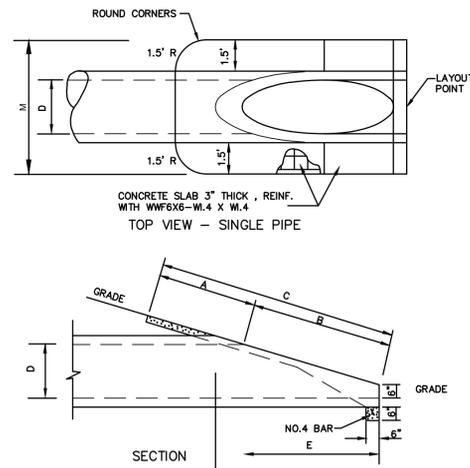
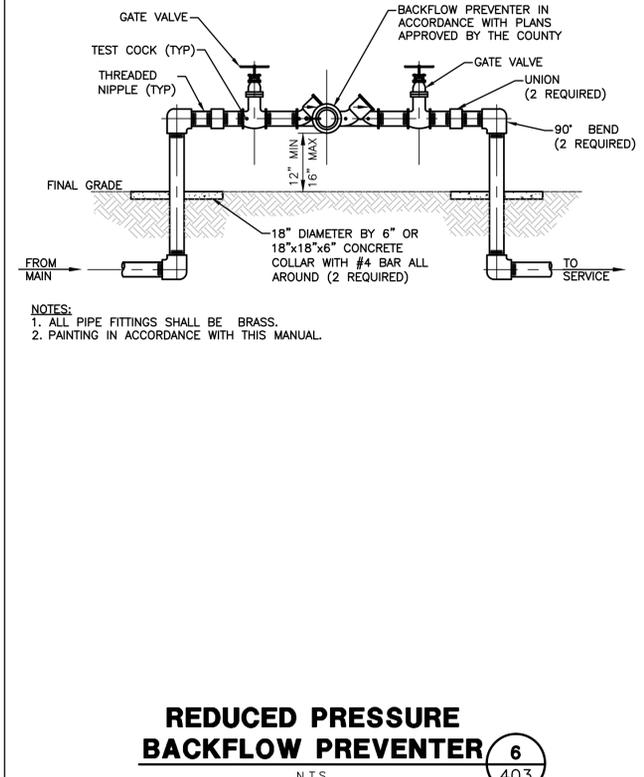
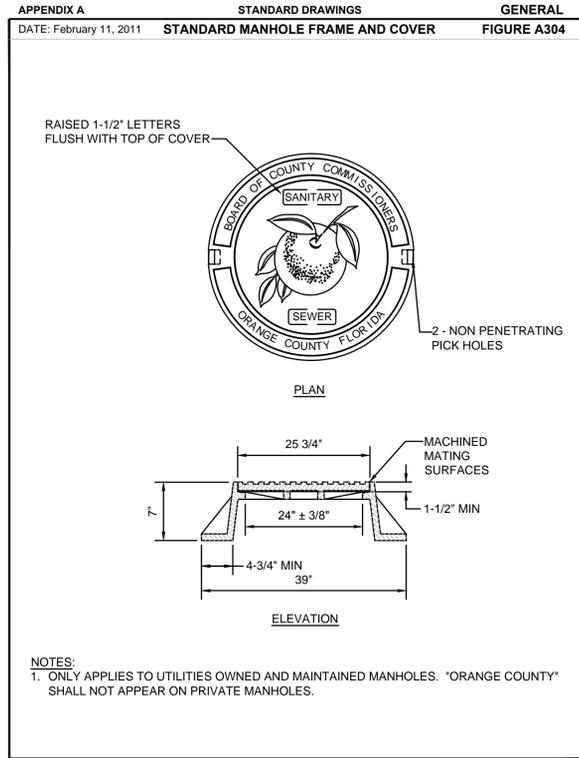
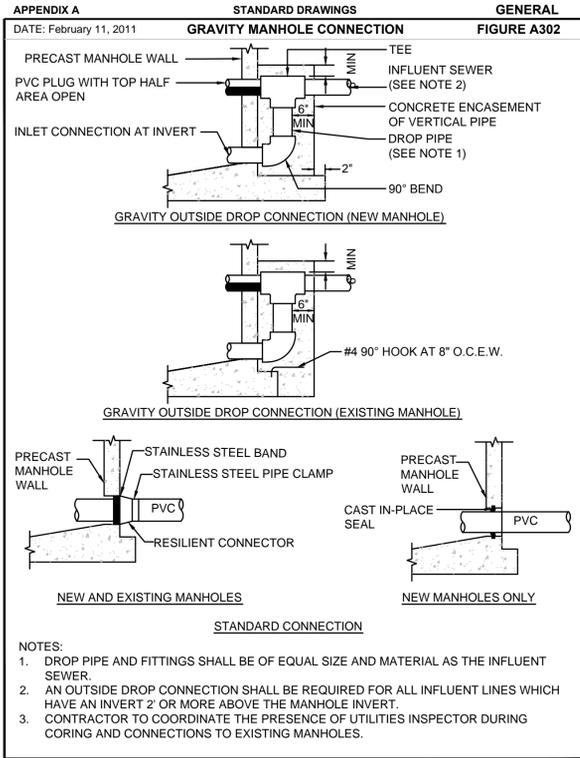
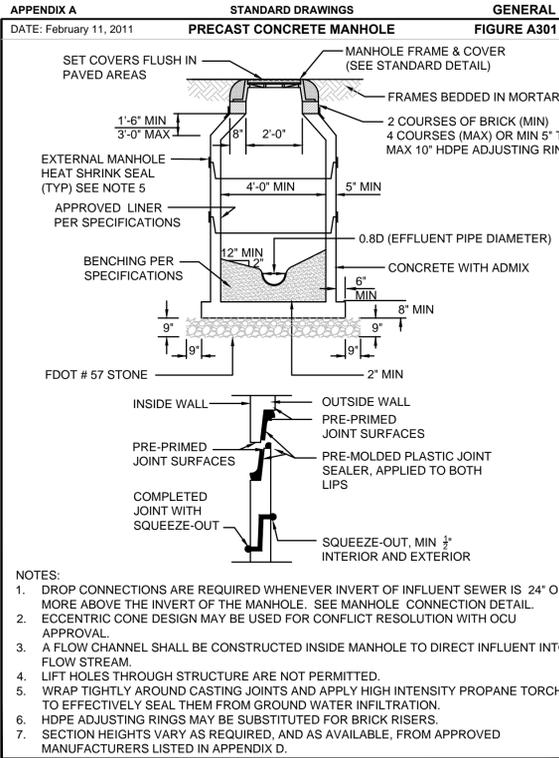
Design: DWT
Drawn: IMG
Checked: DWT

Release:
CONSTRUCTION DOCUMENTS

C-402

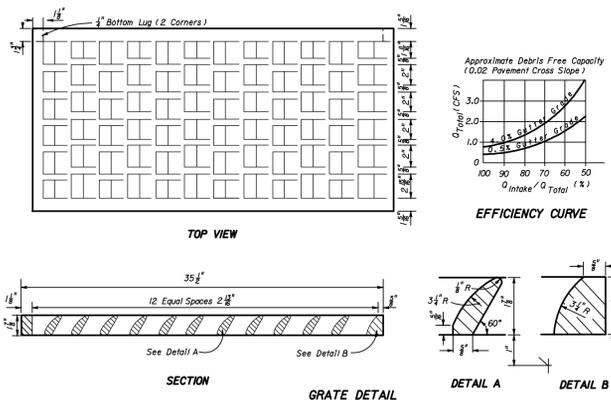
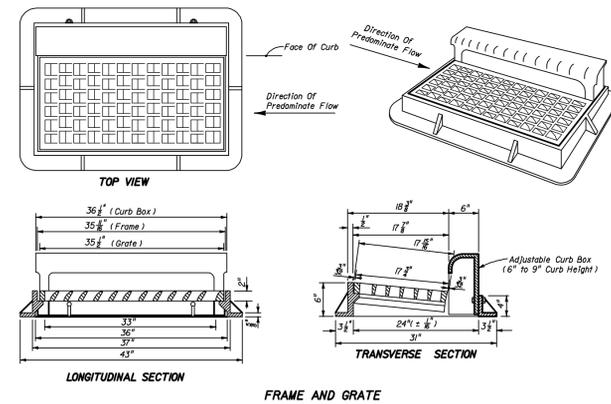
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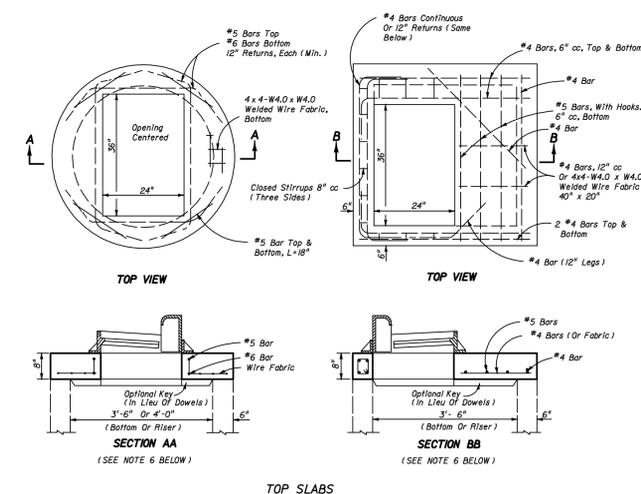


DIMENSIONS							SINGLE PIPE	DOUBLE PIPE
D	X	A	B	C	E	G		
15"	2'-7"	2.27'	4.09'	6.36'	4.03'	1.22'	4.63'	7.21'
18"	2'-10"	2.36'	5.12'	7.48'	5.03'	1.43'	5.92'	7.75'
24"	3'-5"	2.53'	7.18'	9.71'	7.03'	1.73'	8.50'	8.92'
30"	4'-1"	2.70'	9.25'	11.75'	9.03'	2.03'	10.08'	10.93'
36"	4'-5"	2.87'	11.31'	14.81'	11.03'	2.34'	11.67'	11.93'
42"	5'-0"	3.05'	13.37'	18.42'	13.03'	2.65'	13.25'	13.25'
48"	5'-5"	3.22'	15.43'	22.03'	15.03'	2.96'	14.83'	14.83'
54"	6'-0"	3.39'	17.49'	25.64'	17.03'	3.27'	16.43'	16.08'

MITERED END SECTION
FDOT INDEX NO. 273 N.T.S.

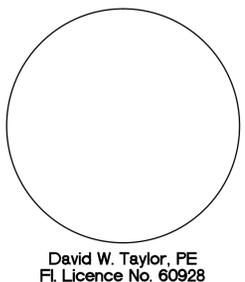


TYPE 9 CURB INLET DETAIL
N.T.S. FDOT STD. INDEX 214

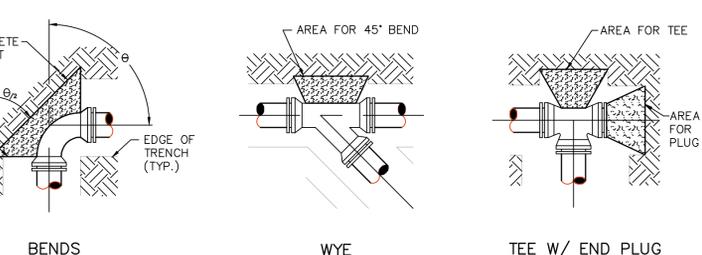
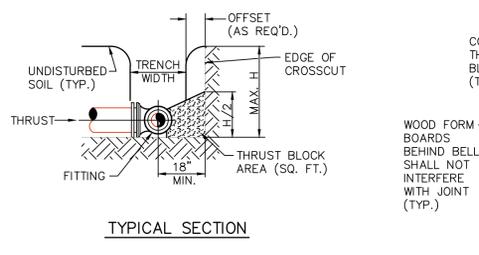
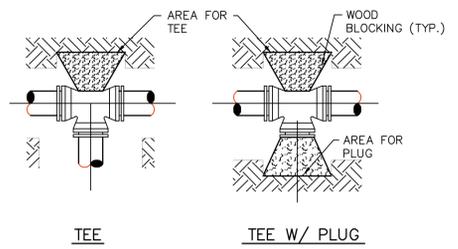
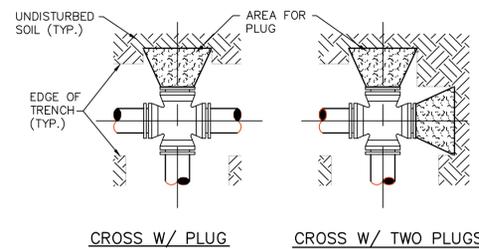


- GENERAL NOTES**
- This Inlet is primarily intended for locations with light to moderate flows where right of way does not permit the use of throat curb inlets Types I through 6. The typical application is on curb returns to city streets. The Inlet grate is suitable for pedestrian and bicycle traffic.
 - This Inlet is to be located outside of curb ramp area in vertical faced curbs such as Curb and Gutter Type F. Grate shall be oriented with vanes directed toward predominate flow.
 - For structure bottoms see Index No. 200. For supplemental details see Index No. 201.
 - All steel in slab tops shall have 1/4" minimum cover unless otherwise shown. Tops shall be either cast-in-place or precast concrete.
 - For Alternate B applications, top slab openings shall be placed such that 2 edges of Inlet frame will be located directly above bottom wall or riser wall.
 - When used on a structure with dimensions larger than those detailed above and risers are not applied, the top slab shall be constructed using Index No. 200 with the slab opening adjusted to 24"x36". The "Special Top Slab" on Index No. 200 is not permitted.
 - Frame may be adjusted with one to six courses of brick.
 - Cast iron frame grate and hood to be U.S. Foundry 530-606, Neenah Foundry R-3067-L, or approved equal. Inlet and grate detail shown to Neenah R-3067-L. Vaned grates with approximately equal openings will be permitted that satisfy AASHTO MS-30 loading. Inlet and grate shall be Class 30 castings in accordance with ASTM A48. Grates shall be reversible, right or left.

No.	Date	Description
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THRUST BLOCK DETAIL (150 PSI) 1
N.T.S. 404

- NOTES:**
- THRUST BLOCK BEARING AREAS SHALL BE POURED AGAINST UNDISTURBED MATERIAL WHERE TRENCH WALL HAS BEEN DISTURBED. EXCAVATE ALL LOOSE MATERIAL AND EXTEND TO UNDISTURBED MATERIAL.
 - EXTEND THRUST BLOCK FULL LENGTH OF FITTINGS. JOINTS SHALL NOT BE COVERED BY THRUST BLOCKS. FITTINGS SHALL BE PROTECTED BY POLYETHYLENE FILM (8 ML.) PRIOR TO PLACING CONCRETE THRUST BLOCK.
 - ROUGH BLOCKS SHALL BE USED ALONG SIDES OF THRUST BLOCKS, AS REQUIRED.
 - THRUST BLOCKS SHALL BE USED IN COMBINATION, AS REQUIRED TO SUIT THE FITTING ARRANGEMENT.
 - ALTERNATE DESIGNED RESTRAINING SYSTEMS SHALL BE PROVIDED WHERE STANDARD THRUST BLOCKING IS NOT SUITABLE AND/OR SOIL RESISTANCE BEARING IS LESS THAN 1500 PSF.
 - ALL WOOD BLOCKING SHALL BE PRESSURE TREATED WITH PRESERVATIVE.

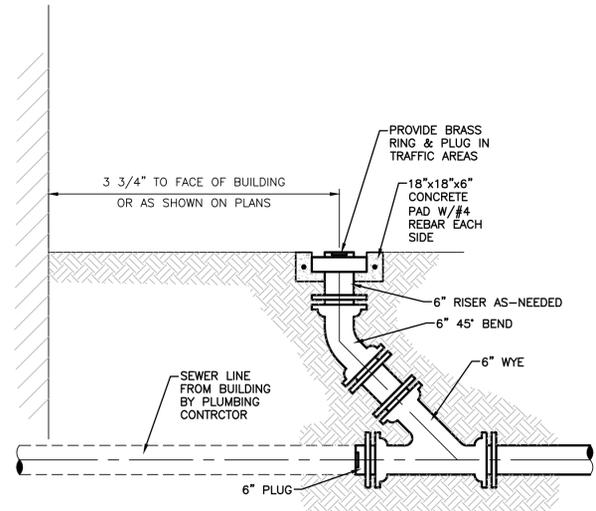
SCHEDULE FOR THRUST BLOCK AREAS						
PIPE SIZE (INCHES)	90° BEND (SQ. FT.)	45° BEND (SQ. FT.)	22-1/2° BEND (SQ. FT.)	11-1/4° BEND (SQ. FT.)	TEE & PLUG (SQ. FT.)	DESIGN PRESS (PSI)
4	2.7	1.4	0.7	0.4	1.9	150
6	6.0	3.2	1.7	0.9	4.2	150
8	10.7	5.8	2.9	1.5	7.5	150
10	16.7	9.0	4.6	2.3	11.8	150
12	24.0	13.0	6.6	3.3	17.0	150

NOTE:
THRUST BLOCK AREAS COMPUTED ON BASIS OF 1500 LBS. PER SQ. FT. SOIL RESISTANT BEARING.

		DUCTILE IRON PIPE SIZE				PVC PIPE SIZE			
		3"	4"	6"	8"	4"	6"	8"	
HORIZONTAL FITTINGS	90° BEND	18(21)	18(25)	28(35)	34(48)	23(31)	33(44)	43(57)	
	45° BEND	6(8)	8(10)	11(14)	14(19)	10(13)	14(18)	18(24)	
	22-1/2° BEND	3(4)	4(5)	5(7)	7(9)	5(6)	7(9)	8(11)	
	11-1/4° BEND	2(2)	2(2)	3(3)	3(4)	2(3)	3(4)	4(6)	
	PLUG OR BRANCH OF TEE	28(37)	33(44)	47(62)	61(82)	52(69)	73(97)	96(128)	
VERTICAL BEND UP	90° BEND	28(37)	33(44)	47(62)	61(82)	52(69)	73(97)	96(128)	
	45° BEND	11(15)	14(18)	19(26)	25(34)	22(28)	30(40)	40(53)	
	22-1/2° BEND	5(7)	7(9)	9(12)	12(16)	10(14)	15(19)	19(25)	
	11-1/4° BEND	3(4)	3(4)	5(6)	6(8)	5(7)	7(10)	9(13)	
VERTICAL BEND DOWN	90° BEND	28(37)	33(44)	47(62)	61(82)	52(69)	73(97)	96(128)	
	45° BEND	6(8)	7(10)	10(14)	14(18)	8(11)	12(16)	16(21)	
	22-1/2° BEND	3(4)	3(4)	5(7)	6(8)	4(5)	6(8)	8(10)	
	11-1/4° BEND	1(2)	2(2)	2(3)	3(4)	2(3)	3(4)	4(5)	

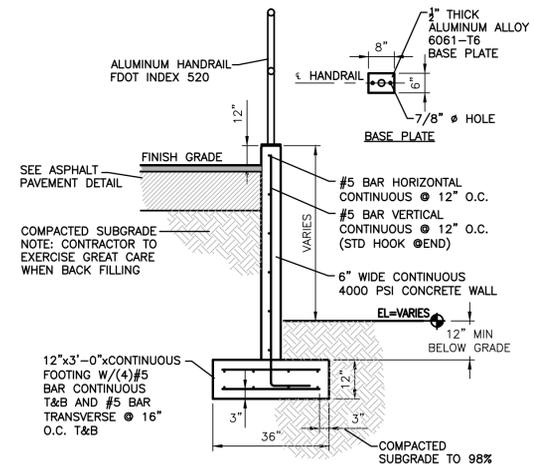
- NOTES:**
- FITTINGS SHALL BE RESTRAINED JOINTS UNLESS OTHERWISE INDICATED.
 - INSTALL FULL LENGTH JOINTS WITH TOTAL LENGTH EQUAL TO OR GREATER THAN SHOWN IN THE TABLE.
 - WHERE TWO OR MORE FITTINGS ARE TOGETHER, USE FITTING WHICH YIELDS GREATEST LENGTH OF RESTRAINED PIPE.
 - IN LINE VALVES AND THROUGH RUN OF TEES OUTSIDE LIMITS OF RESTRAINED JOINTS FROM OTHER FITTINGS NEED NOT BE RESTRAINED UNLESS OTHERWISE INDICATED.
 - LENGTHS SHOWN IN THE TABLE HAVE BEEN DERIVED USING "EBAA IRON RESTRAINED LENGTH CALCULATION PROGRAM ©1996" PUBLISHED BY EBAA IRON INC. WITH THE FOLLOWING ASSUMPTIONS: (ALL 200 P.S.I. LENGTHS AND ASSUMPTIONS ARE INDICATED IN PARENTHESES)
WORKING PRESSURE: 150 P.S.I. (200 P.S.I.)
SOIL DESIGNATION: SAND-SILT (SM)
LAYING CONDITIONS: TYPE 3
SAFETY FACTOR: 2.0
DEPTH: 3 FEET

RESTRAINED PIPE LENGTH TABLE 2
N.T.S. 404



- NOTE:**
- THE CONTRACTOR SHALL LEAVE THE CLEANOUT RISER 3'-4" ABOVE GRADE AND IT SHALL REMAIN SO UNTIL LOT BUILD OUT. THE RISER SHALL THEN BE CUT AND CAPPED AT FINISHED GRADE WITH A CONCRETE PAD.
 - ALL CLEANOUTS AND CONCRETE PADS TO BE FLUSH WITH FINISH GRADE.
 - UTILITY CONTRACTOR TO INSTALL & PRESSURE TEST SEWER LATERAL. PLUMBER TO REMOVE PLUG, INSTALL LINE TO BUILDING.
 - ETCH CURB WITH "S" WHERE LATERAL CROSSES UNDER CURB.
 - ALL LATERALS SHALL HAVE 6" CLEANOUTS.
 - CLEANOUT CAPS SHALL BE SLOTTED OR HAVE A RECESSED NUT.

SANITARY SEWER CLEANOUT 3
N.T.S. 404



CONCRETE RETAINING WALL 4
N.T.S. 404

HARRIS
 Harris Civil Engineers, LLC
 1200 E. Hillcrest Street
 Suite 200
 Orlando, Florida 32803
 Phone: (407) 629-4777
 (800) 595-8185
 Fax: (407) 629-7888
 www.harrisengineers.com
 EB 9814

**WEKIVA RIVERWALK LOT 1 SHOPPING CENTER
 AND DAYCARE BUILDING**
 EAST SEMORAN BLVD.
 APOPKA, FL 32703

Revisions:

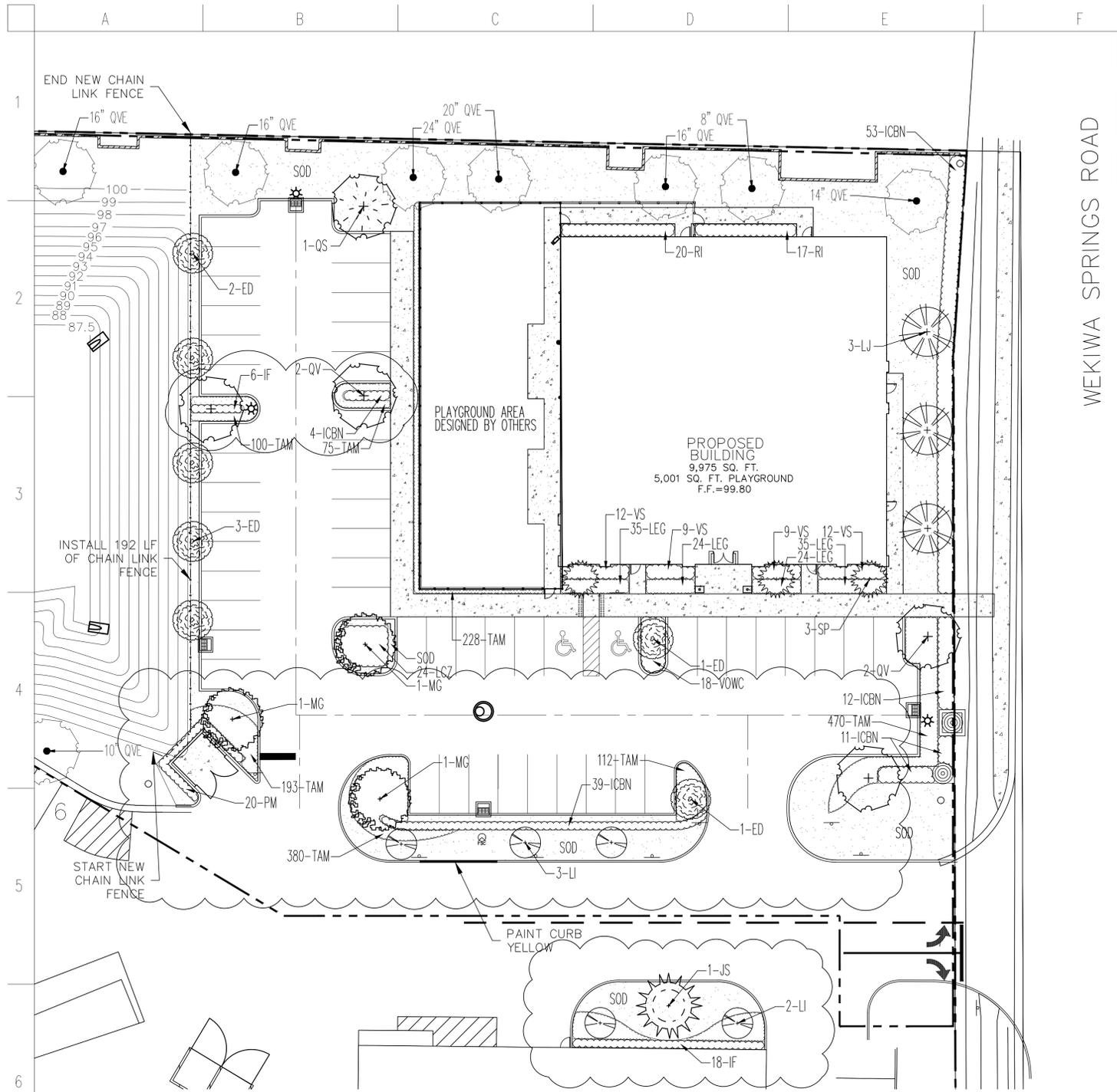
No.	Date	Description

**FINAL DEVELOPMENT PLAN
 DETAILS**
 Scale: NTS
 Date: 02-03-16
 Project No: 06988009
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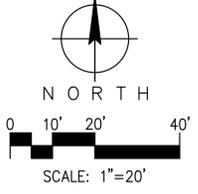
C-404

David W. Taylor, PE
 Fl. Licence No. 60928



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DALE & COMPANY
 Landscape Architecture Analysis Planning
 651 North Mills Avenue Orlando, Florida 32803 telephone (407) 894-1317

PLANT LIST

KEY	TOTAL	BOTANICAL NAME	COMMON NAME	SIZE, HEIGHT, WIDTH	WATER ZONE
JS	1	JUNIPERUS SILICICOLA	SOUTHERN RED CEDAR	3" DBH 10'-12" H.	LOW
MG	3	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	3" DBH 10'-12" H.	MEDIUM
QS	1	QUERCUS SHUMARDII	SHUMARD RED OAK	3" DBH 10'-12" H.	LOW
QV	4	QUERCUS VIRGINIANA	LIVE OAK	3" DBH 10'-12" H.	LOW
QVE	8	QUERCUS VIRGINIANA EXISTING	EXISTING LIVE OAK		
ED	7	ELAEOCARPUS DECIPIENS	JAPANESE BLUEBERRY	2" DBH 8'-10' H.	LOW
LI	5	LAGERSTROEMIA INDICA	GRAPE MYRTLE	12" H. M.T.	MEDIUM
LJ	3	LICUSTRUM JAPONICUM	JAPANESE PRIVET TREE	8' H. x 6' SPD. M.T.	HIGH
SP	3	SABAL PALMETTO	CABBAGE PALMETTO	16'-24' C.T.	LOW
ICBN	119	ILEX CORNUTA 'BURFORDII NANA'	DWARF BURFORD HOLLY	36" H. 36" O.C.	LOW
IF	24	ILICUM FLORIDANUM	FLORIDA ANISE	30" H. 30" O.C.	LOW
LCZ	24	LOROPETALUM CHINENSE 'ZHOUZHOU FUCHSIA'	ZHOUZHOU FUCHSIA FRINGE FLOWER	20"-24" H. 30" O.C.	MEDIUM
PM	20	PODOCARPUS MACROPHYLLUS 'MAKI'	MAKI PODOCARPUS	42" H. 30" O.C.	LOW
RI	37	RHAPHIOLEPIS INDICA	INDIAN HAWTHORN	15"-18" H. 30" O.C.	LOW
VOWC	18	VIBURNUM ODORATISSIMUM 'WHORLED CLASS'	WHORLED CLASS VIBURNUM	15"-18" H. 30" O.C.	LOW
VS	42	VIBURNUM SUSPENSUM	SANDANKWA VIBURNUM	30" H. 30" O.C.	MEDIUM
LEG	232	LIRIOPE MUSCARI 'EVERGREEN GIANT'	EVERGREEN GIANT LIRIOPE	1 GAL. 18" O.C.	MEDIUM
TAM	1486	TRACHELOSPERMUM ASIATICUM 'MINIMA'	DWARF CONFEDERATE JASMINE	1 GAL. 12" O.C.	LOW
SOD	AS REQ.	PASPALUM NOTATUM	BAHIA GRASS	SOD	

TREE DATA

		TOTAL INCHES
8	EXISTING TREES RETAINED	124"
0	EXISTING TREES LOST	0"
23	PROPOSED TREES	61.5"

SOD: 8,733.99 SQ. FT. 68%
BEDS: 4,112.57 SQ. FT. 32%
TOTAL: 12,846.56 SQ. FT.

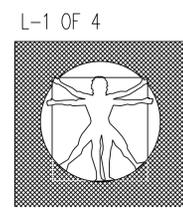
I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

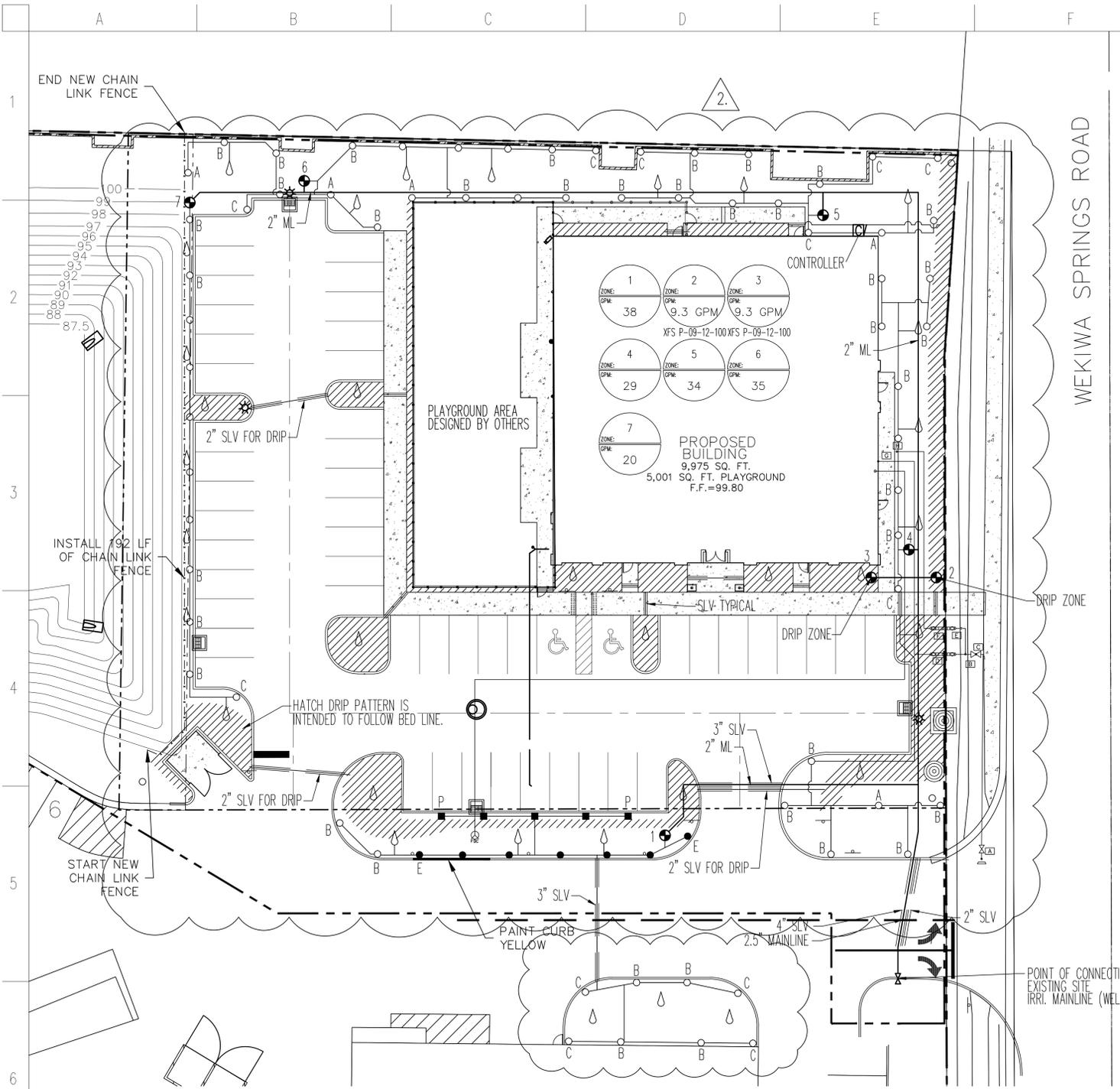
SIGNATURE _____ REG. NO. _____ DATE _____

LANDSCAPE SITE PLAN FOR
DAYCARE SITE
WEKIWA RIVERWALK
 2121 EAST SEMORAN BLVD. APOPKA, FLORIDA 32703

DESIGNED BY: RCD
 DRAWN BY: RSH
 CHECKED BY: RCD
 DATE: 01-08-16

- REVISIONS
 1. 01-25-16
 2. 02-03-16 CC
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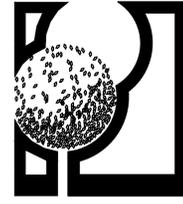
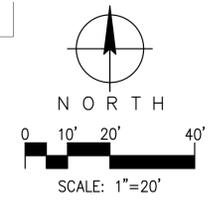
IRRIGATION WATER DEMAND

TOTAL S.F. AREA IRRIGATED	
*GALLONS PER CYCLE	3,168
*GALLONS PER WEEK	6,336
GALLONS PER YEAR, 52 WEEKS	329,472
**GALLONS PER YEAR, 46 WEEKS	291,456

Call before you dig
 It's not just another catchy slogan. It's the law.
 Only. Only. Only. It's not just calling. It's still the law.

FLORIDA LAW REQUIRES EXCAVATORS TO NOTIFY OWNERS OF UNDERGROUND FACILITIES NO LESS THAN TWO (2) DAYS PRIOR TO EXCAVATION

Sunshine State One Call
 www.callsunshine.com
1-800-432-4770

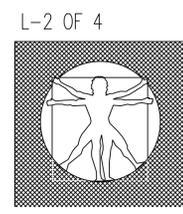


DALE & COMPANY
 651 North Mills Avenue Orlando, Florida 32803 telephone (407) 894-1317

IRRIGATION SITE PLAN FOR
DAYCARE SITE
WEKIWA RIVERWALK
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DESIGNED BY: RCD
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 DATE: 01-08-16

REVISIONS
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 2. 02-03-16 CC
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 4.
 5.
 6.



* TWICE A WEEK DURING DAYLIGHT SAVINGS TIME (34 WEEKS). ONCE A WEEK DURING STANDARD TIME (18 WEEKS).
 ** 6 WEEKS OF RAINY SEASON TWICE A WEEK DURING DAYLIGHT SAVINGS TIME (28 WEEKS). ONCE A WEEK DURING STANDARD TIME (18 WEEKS).

RAINBIRD IRRIGATION LEGEND

KEY	MODEL DESCRIPTION	NOZZLE	RADIUS	GPM	PSI	COMMENTS
A	RAINBIRD 1806-SAM-PRS-15 MPR	15F	15'	3.7	30	*NOTES*
B	RAINBIRD 1806-SAM-PRS-15 MPR	15H	15'	1.85	30	
C	RAINBIRD 1806-SAM-PRS-15 MPR	15Q	15'	0.92	30	ALL LAWN AREAS SHALL BE 6" POP-UPS.
D	RAINBIRD 1806-SAM-PRS-12 MPR	12F	12'	2.6	30	
E	RAINBIRD 1806-SAM-PRS-12 MPR	12H	12'	1.3	30	
F	RAINBIRD 1806-SAM-PRS-12 MPR	12Q	12'	0.65	30	ADJUST HEADS TO AVOID OVERSPRAY.
G	RAINBIRD 1806-SAM-PRS-10 MPR	10F	10'	1.58	30	
H	RAINBIRD 1806-SAM-PRS-10 MPR	10H	10'	0.79	30	
I	RAINBIRD 1806-SAM-PRS-10 MPR	10Q	10'	0.39	30	
J	RAINBIRD 1806-SAM-PRS-8 MPR	8F	8'	1.05	30	FOR RE-USE WATER USE PURPLE HEADS, PIPES, & VALVES ONLY.
K	RAINBIRD 1806-SAM-PRS-8 MPR	8H	8'	0.52	30	
L	RAINBIRD 1806-SAM-PRS-8 MPR	8Q	8'	0.26	30	
M	RAINBIRD 1806-SAM-PRS-5 MPR	5F	5'	0.41	30	
N	RAINBIRD 1806-SAM-PRS-5 MPR	5H	5'	0.20	30	FIELD ADJUST IRRIGATION PLAN TO ACCOMMODATE SITE CHANGES.
O	RAINBIRD 1806-SAM-PRS-5 MPR	5Q	5'	0.10	30	
P	RAINBIRD 1806-SAM-PRS-15 SST	15SST	4' x 30'	1.21	30	
Q	RAINBIRD 1806-SAM-PRS-15 CST	15CST	4' x 30'	1.21	30	
R	RAINBIRD 1806-SAM-PRS-15 EST	15EST	4' x 15'	0.61	30	
S	RAINBIRD 1806-SAM-PRS-9 SST	9SST	9' x 18'	1.73	30	CONNECT BUBBLERS FOR TREES TO NEAREST OR ADJACENT ZONE.
T	RAINBIRD 5006 -PC-SAM-NP	8.0F	43'	7.06	35	
U	RAINBIRD 5006 -PC-SAM-NP	4.0H	40'	3.5	35	
V	RAINBIRD 5006 -PC-SAM-NP	2.0Q	36'	1.81	35	
W	RAINBIRD 3504-PC-SAM-NP	4.0F	33'	3.58	35	
X	RAINBIRD 3504-PC-SAM-NP	2.0H	27'	1.69	35	
Y	RAINBIRD 3504-PC-SAM-NP	1.0Q	21'	0.92	35	*VELOCITY SHALL NOT EXCEED 5' PER SEC. IN ALL PIPELINES
Z	RAINBIRD BUBBLER	BEST. COV.	5'	ADJ. 0.25-1.5	30	
	RAINBIRD XFS-P-09-12-100	207				VALVE XCZ-100 PRBR (HAS ATTACHED FILTER)
	RAINBIRD PESBR-PRS-D VALVE					(SEE PLAN FOR SIZES)
	ISOLATION VALVE - MATCH SIZE TO MAINLINE					SCH40 MAINLINE (SEE PLAN FOR SIZES)
	RAINBIRD ESP-SMTe ZONE WITH RAIN CHECK DEVICE					EXISTING SITE DEEP WELL
						*VELOCITY SHALL NOT EXCEED 5' PER SEC. IN ALL PIPELINES

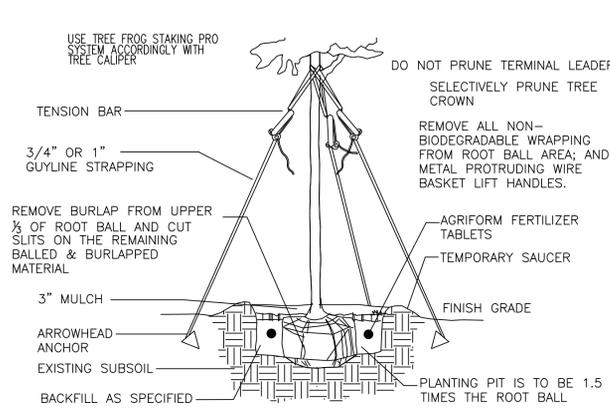
UTILITY LAYOUT TABLE

A) 8"x6" TAPPING SLEEVE & VALVE N -330.67 E 1625.12	B) 6"x3/4" DOUBLE STRAP TAPPING SADDLE & CURB STOP N -268.02 E. 1620.13	6 402
C) 6" SERVICE VALVE N -268.02 E 1623.37	D) 6" RPDA BFP N -268.02 E 1613.21	6 403
E) 3/4" WATER METER N -260.09 E 1618.85	F) 3/4" FIRE MAIN RPZ BFP N -260.09 E 1613.21	6 403
G) 6" FIRE MAIN POC N -208.97 E 1593.31	H) 6" POTABLE WATER POC N -205.97 E 1599.01	6 403

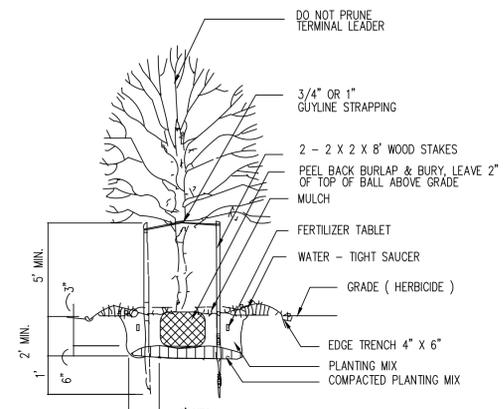
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NOTE:
 NO RISERS SHALL BE INSTALLED FOR IRRIGATION HEADS.

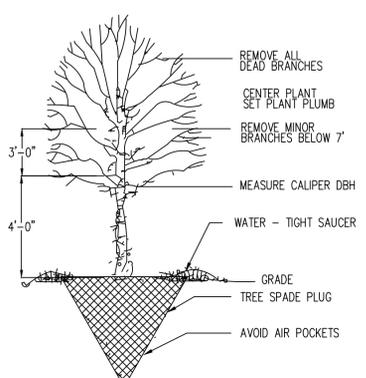
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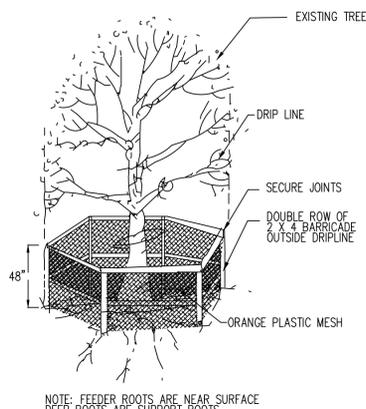
TREE STAKING DETAIL
CONTAINER OR BALL & BURLAP : 3 1/2\"/>



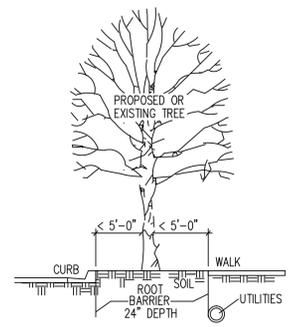
TREE DETAIL
NO SCALE



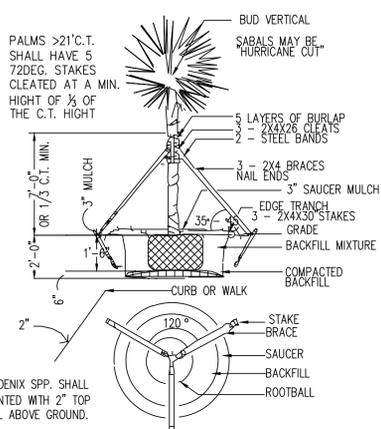
TREE TRANSPLANT DETAIL
NO SCALE



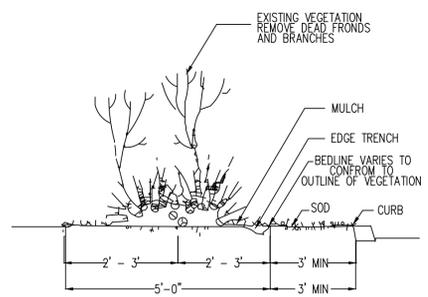
TREE PROTECTION
NO SCALE



ROOT BARRIER DETAIL
NO SCALE



PALM BRACING DETAIL
NO SCALE



SOD DETAIL
NO SCALE

SECTION 02900 LANDSCAPE
PART ONE - GENERAL

- 1.0 SUMMARY**
- A. All portions of Division I - General Requirements are included with this section.
 - B. Furnish all transportation, materials, labor, equipment, taxes, and service to complete all work as shown on the drawings and as specified herein.
 - C. Avoid conditions which will create hazards. Post signs or barriers as required.
 - D. Provide adequate means for protection from damage through excessive erosion, flooding, heavy rains or winds, etc. Repair or replace such damage.
 - E. Plant totals are for the convenience of the Contractor and are not guaranteed. Verify drawings. Planting is required as indicated on drawings.
 - F. Comply with all federal, state and local regulations. Contractor shall notify L.A. of any adverse soil conditions encountered i.e. clay, loose fill, high water table or poor drainage and any condition adverse to planting.
 - G. Quantity deviations, questions on plans; please notify. Plant list is an estimate.

1.1 RELATED SECTIONS: SECTION 02810 IRRIGATION

- 1.2 REFERENCES**
- A. Standard Plant Names, 1942 edition prepared by the American Joint Committee on Horticultural Nomenclature.
 - B. Grades and Standards for Nursery Plants, Florida Department of Agriculture; Part II 1998
 - C. American Standard for Nursery Stock, prepared by the American Association of Nurserymen, Inc. (ANSI Z60.1-1986)
 - D. Hortus Third, Liberty Hyde Bailey Hortorium 1976.
 - E. Florida Irrigation Society Standards and Specifications for turf and Landscape Systems (Revision 61098).

1.3 SUBMITTALS

- Provide to Owner's representative during:
- A. Preconstruction
 - 1. Unit Prices for all materials, including estimate (or quotation) or area to be sodded or seeded.
 - 2. Proposed substitutions of materials or sizes. Obtain approval by both landscape architect and Owner's representative.
 - B. Construction
 - 1. Plant inspection certificates and shipping invoices as requested.
 - 2. All fertilizer labels and notarized letter of conformance with these specifications.
 - C. Contract Close-out
 - 1. Two sets as-built record documents (red-line prints).
 - 1.4 QUALITY ASSURANCE
 - A. All work shall be performed under the constant supervision of a foreman, having at least one year experience or education in the nursery trades.
 - B. Contractor is expected to participate in a pre-construction conference with Owner and landscape architect to coordinate schedule, clarify questions, and discuss acceptable performance for payment.
 - C. Contractor is expected to participate in a contract close-out conference with Owner and landscape architect to verify completion of the work, and to establish a "Date of Substantial Completion".

1.5 MAINTENANCE

- A. Contractor shall be fully responsible for all maintenance, damages, and replacements until Date of Substantial Completion of that specific phase of work. Document damage to the work caused by other trades. Immediately bring to Owner's attention, and quickly repair (at Owner's expense) as directed.
 - B. Maintenance consists of pruning, cultivation, edginbeds and walks, weeding, mulching, adjusting guys, resetting plants to proper grade or upright position, hand watering as required, restoration of planting saucer, and furnishing and applying such sprays as necessary to keep the planting free from insects or disease.
 - C. The Contractor shall keep the premises free from accumulations of waste materials or rubbish caused by his employees or work, at all times.
- 1.6 REPLACEMENTS**
- A. During the guarantee period any plant required under this contract that is dead or not in satisfactory growth condition (as determined by the landscape architect) shall be promptly replaced by the Contractor. Replacement shall be as specified for the original planting and at no cost to the Owner.
 - B. Replacement period commences at Date of Substantial Completion and continues as follows:
 - a. Trees - one (1) year
 - b. Shrubs - ninety (90) days
 - c. Sod - ninety (90) days
 - d. Other Products - one (1) year
 Time limit may be extended by mutual agreement for material in questionable health at end of guarantee period.
 - C. Plant damage by theft, vandalism, gross neglect, undue weather conditions, acts of God, or unseasonable planting are exempt from the guarantee provision.

3.3 INSTALLATION

- A. Topsoil
 - 1. Spread topsoil over all areas to receive ground cover to a minimum compacted depth of 4 inches.
- B. Rough Grading
 - 1. Mold land surfaces to within 1 inch of final grade. Construct swales and berms. Fill low areas. Ensure proper drainage of all areas. Spread 6 inch lifts at 85% compaction (Proctor)
 - 2. Slope grade away from buildings at a minimum slope of 1/2 inch per foot for a distance of 10 feet minimum.
- C. Final Grading
 - 1. Remove all non-conforming matter from site, such as rocks, sods, sticks, building rubble, wire, or cans.
 - 2. Dig out weeds by the roots.
 - 3. Fill in soil amendments such as lime, iron, or gypsums if indicated by local conditions, but only after approval by landscape architect. Ensure uniform application.

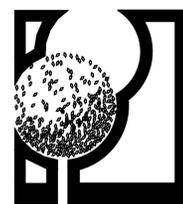
PART TWO - PRODUCTS

- 2.0 MATERIALS**
- A. Topsoils shall be fertile, natural, and typical of the locality. It shall be without subsoil or slag and shall be free of stones, lumps, plants or their roots, sticks, or other extraneous matter that is not conducive to production of plant life, or would interfere with future maintenance.
 - B. Sod may have no visible broadleaf weeds when viewed from a standing position and the turf shall be visibly consistent with no obvious patches of foreign grasses. It may have no visible signs of disease or insect stress. In no case may the total amount of foreign grasses or weeds exceed 2% of the total canopy. The sod shall be (as noted on plan) neatly mowed and be mature enough that when grasped at one end it can be picked up and handled without damage.

- C. Seed shall meet the tolerance for germination and purity in accordance with the U.S. Department of Agriculture Rules and Regulations under the latest edition of the "Federal Seed Act" for certified seed. Seed shall be mixed by the dealers and shall be delivered to the site in sealed containers which shall bear the dealer's guaranteed analysis. Seed mixture and seeding rate shall be as specified on the drawings.
 - D. Fertilizer
 - 1. "Agri-form" or "Woodace" 21 gram tablet of 20-10-5 formulation.
 - 2. Granular fertilizer shall be a balanced formula, uniform in composition, free flowing and delivered to site in unopened bags.
 - E. Peat
 - 1. Incorporate black Florida peat into planting mix when specified on plant list at the following rates:
 - 1. 1 gallon plants - 1/8 cubic feet
 - 2. 3 gallon plants - 1 cubic feet
 - 3. Trees - 1/2 cubic foot per foot of height
 - F. Herbicide
 - 1. "Selifan" or "Preen" pre-emergent.
 - G. Additional Soil Amendments
 - 1. Apply as needed to bring soil into optimum growth range for specified plants.
 - 2. If soil is below 5.0 ph incorporate enough horticultural lime to bring within 5.6 to 6.5 ph range.
 - H. Plants
 - 1. Measured standing in natural form of the size indicated on plant list and grade "Florida No 1" unless otherwise indicated.
 - 2. Non-classified plants to meet AAN standards. Tree calipers shall be measured 6 inches above soil level.
 - 3. All plants shall be sound, healthy, free from insect pests and eggs, and have normal, healthy root systems.
 - 4. Form shall be symmetrical or typical for species and variety.
 - 5. Any plant may be rejected by landscape architect if not of satisfactory size, health, quality, or character.
 - 6. Trees having rootballs wrapped with synthetic burlap will be rejected.
 - I. Mulch shall be Pine bark, no cypress bark, & free from sticks, stones, leaves or other debris.
- 2.1 EQUIPMENT**
- Use magnesium grading rakes of 30 inch minimum width to remove irregularities in final grade prior to sodding or seeding and to ensure a flat subgrade.
- 2.2 MIXES**
- A. Planting Mixture
 - 1. Use the best natural soil existing on site, combined with fertilizer.

PART THREE - EXECUTION

- 3.0 EXAMINATION**
- A. Examine surfaces to which work will be applied and immediately notify landscape architect in writing if site is not in proper condition for Contractor to perform his duties under the terms of this contract.
 - B. Review engineering drawings for additional information.
 - C. Coordinate work with Owner and other related trades.
 - D. Relocate existing plant material as directed by landscape architect, and according to drawings.
- 3.1 PROTECTION**
- Locate, identify and mark all known utilities in area of the work. Take reasonable care to avoid damages or hazards.
- 3.2 PREPARATION**
- Remove from site existing sods, seeds, inferior plantings and preconstruction debris as necessary to incorporate work to the site. Obtain verification regarding removal of questionable material. Clean up of debris from new construction (by other trades) is not included in this contract.
- D. Planting Pits
 - 1. Excavate to dimensions shown on plan.
 - E. Plant Installation
 - 1. Do not crack or break soil away from root ball.
 - 2. Carefully set plant plumb, best side facing "out", at the same soil level, to 1" higher, as previously grown.
 - 3. Remove all twine, burlap, or rope from top third of root ball. Retain cloth under ball. Wash in backfill with slow hose.
 - 4. Form shallow basin at each plant. Adjust grade to 1 1/2" below adjacent pavement. All plants shall be 30" minimum from walls, walks and fences.
 - 5. Space ground cover in triangle pattern with outside row parallel to bedline, 1/2 plant spacing distance from edge.
 - F. Sod Installation
 - 1. Sod all areas indicated on plan and areas disturbed by work of other trades.
 - 2. Lay panels tightly together. Top dress cracks with sand. Water thoroughly.
 - G. Stake and Guy
 - 1. Stake and guy .as per plan.
 - H. Fertilize
 - 1. Fertilize evenly at following rates:
 - 1 gallon plant - 1 tablet
 - 2 gallon plant - 1 to 2 tablets
 - 5 gallon plant - 2 to 3 tablets
 - Trees - 1 tablet per foot of height
 - 2. Granular Fertilizer
 - 1. Work into the top 2" of soil at the rate of 20 pounds per 1000 square feet for lawn areas.
 - I. Prune
 - 1. Prune as little as necessary to remove damaged twigs. In any case, terminal leader shall not be topped either before or after installation.
 - J. Herbicide
 - 1. Apply pre-emergent herbicide to all beds according to manufacturer's recommendations.
 - K. Mulch
 - 1. Spread to a uniform depth of 2" min. Fluff and pat in place.
- 3.4 FIELD QUALITY CONTROL**
- A. Landscape architect or Owner may conduct periodic inspections to determine that the terms of this contract are fulfilled.
 - B. Contractor will be expected to participate with Owner in final inspection to review project for conformance to the contract. Items to be reviewed include type, quantities, sizes, locations, dimensions, and quality of materials and workmanship. Final payment for work will depend upon satisfactory condition of project on Date of Substantial Completion.

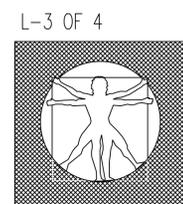


DALE & COMPANY
651 North Mills Avenue Orlando, Florida 32803
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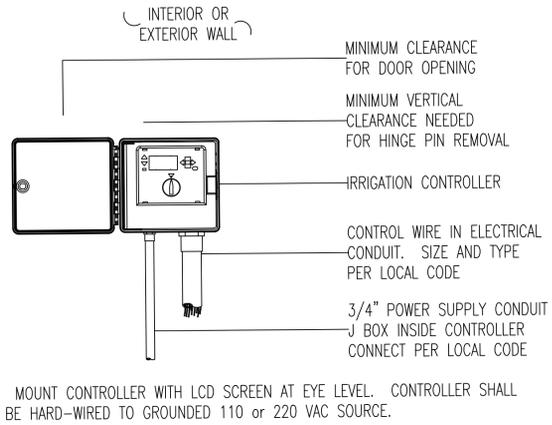
LANDSCAPE DETAILS & SPECIFICATIONS FOR
DAYCARE SITE
WEKIVA RIVERWALK
2121 EAST SEMORAN BLVD. APOPKA, FLORIDA 32703

DESIGNED BY: RCD
DRAWN BY: RSH
CHECKED BY: RCD
DATE: 01-08-16

- REVISIONS**
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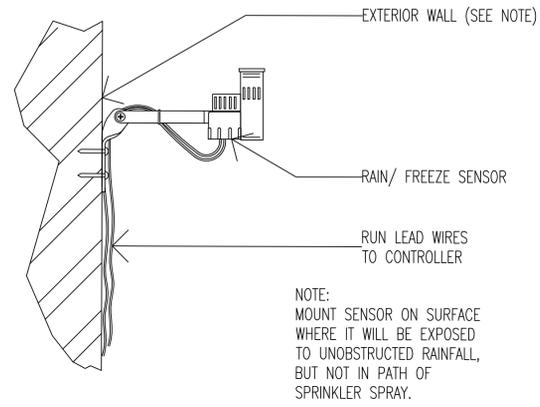


L-3 OF 4

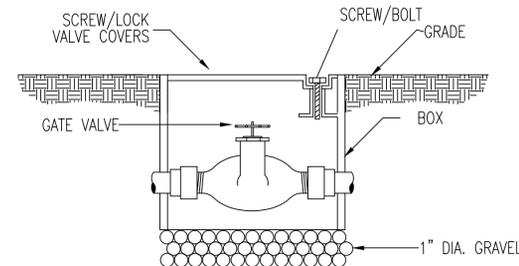


IRRIGATION CONTROLLER

*IF THE PLAN SPECIFIES THE USE OF A TWO WIRE CONTROLLER, OR IF ONE WILL BE USED, PLEASE SEE THE ADDITIONAL DETAILS AND SPECIFICATIONS FOR IT LOCATED ON A SEPARATE SHEET. IF THE SHEET WAS NOT INCLUDED WITH THIS SET OF PLANS PLEASE CONTACT DALE AND COMPANY FOR A COPY.

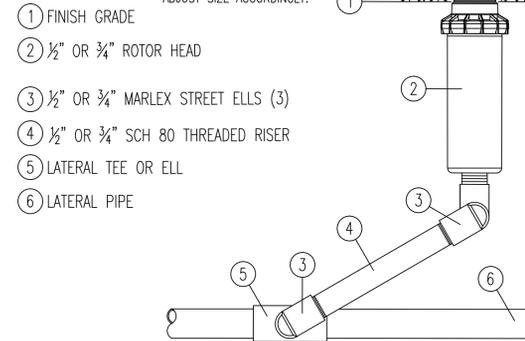


RAIN/ FREEZE SENSOR

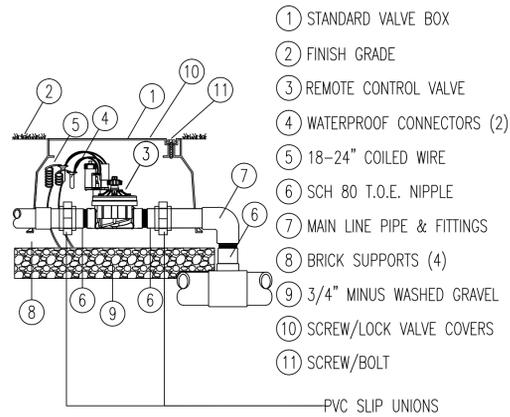


GATE VALVE

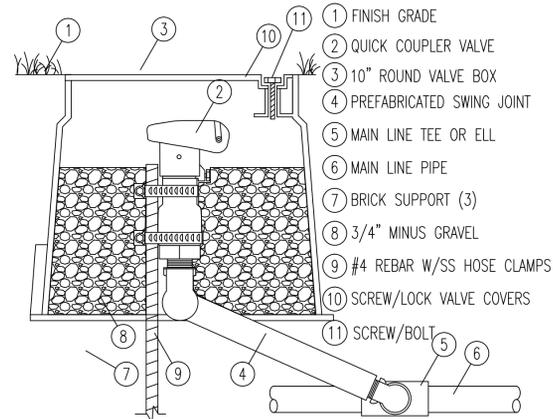
*WHEN USING LARGER GPM NOZZLES, BEWARE OF HIGH FRICTION LOSS IN SWING JOINTS. ADJUST SIZE ACCORDINGLY.



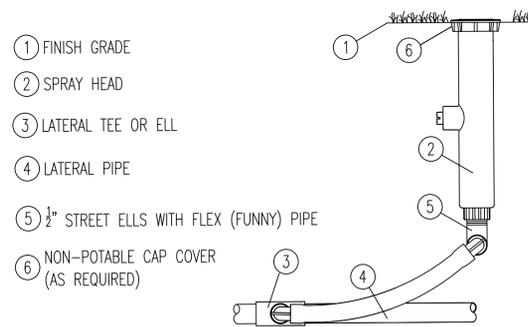
ROTOR HEAD



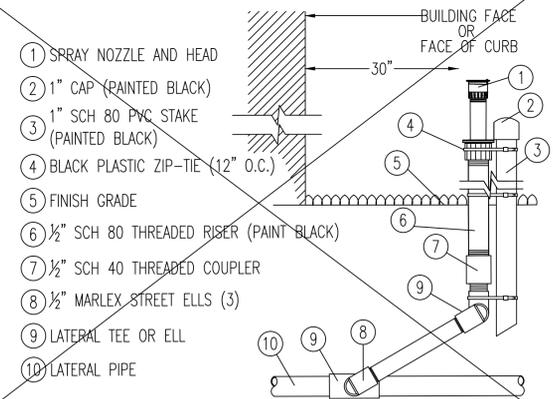
REMOTE CONTROL VALVE



QUICK COUPLER VALVE

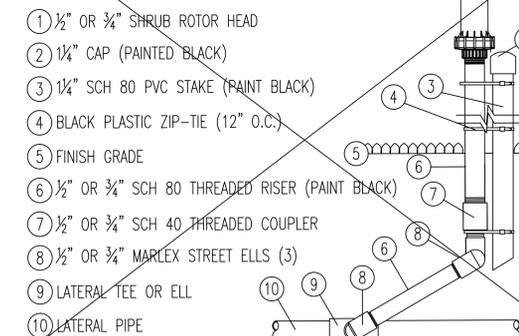


SPRAY HEAD



SHRUB SPRAY HEAD

*DO NOT USE RE-BAR, ANGLE IRON, OR ANYTHING OTHER THAN PVC AS SPECIFIED IN THIS DETAIL FOR STAKING.



SHRUB ROTOR HEAD

*DO NOT USE RE-BAR, ANGLE IRON, OR ANYTHING OTHER THAN PVC AS SPECIFIED IN THIS DETAIL FOR STAKING.

SECTION 02810 IRRIGATION SYSTEMS

PART ONE - GENERAL

1.0 SUMMARY

- All portions of Division I - General Requirements are included with this section.
- Furnish all transportation, materials, labor, equipment, and services to complete all work shown on the drawings and as specified.

1.1 RELATED SECTIONS: section 02900 landscape planting

1.2 TOLERANCE

- Install sprinkler heads where indicated by symbol.
- Drawings are schematic. Adjust pipe and locations to conform to site conditions and to avoid obstructions. Conceal components behind walls of shrubbery where possible. Verify questionable locations before installation.

1.3 SUBMITTAL

- Submit two bound folders containing:
 - Written operating instructions for all components.
 - Complete parts list and manufacturer's data.
 - Copy of well completion report.
 - Written maintenance instructions.
 - Provide 2 sets as-built record drawings with the following items dimensioned to the nearest foot:
 - Sprinkler main lines
 - Water source
 - Control valves
 - Gate valve
 - Electric control wire path (Red-line prints)
 - Products furnished but not installed:
 - 2 extra heads of each type and size
 - 2 extra nozzles of each type and size
 - 2 extra head wrenches for each type of head
 - 1 extra valve box with lid
- 1.4 COORDINATE WORK WITH OWNER AND OTHER TRADES
- A Licensed electrician will install/provide power to the controller, pump, or fountain if utilized on project.

1.5 QUALITY ASSURANCE

- Contractor is expected to participate in preconstruction meeting with Owner and landscape architect to coordinate schedule, clarify questions, and discuss acceptable performance criteria for payment.
 - Contractor is expected to participate in contract closeout meeting with Owner and landscape architect to verify proper completion of the work, establish "Date of Substantial Completion", and advise Owner as to system operation.
- 1.6 WARRANTIES
- Contractor will be fully responsible for system operation until Date of Substantial Completion.
 - Contractor is fully responsible for all parts and workmanship for one year after Date of Substantial Completion of each specific phase or portion of the project.
 - See to the fulfillment of all manufacturer's warranties.

PART TWO - PRODUCTS

2.0 MATERIALS

Backfill shall be free from stone, trash, or other debris.

2.1 MANUFACTURED UNITS

- Automatic electro-mechanical controller fully installed and operating.
- Electric valve installed in valve box.
- Valve box with lid manufactured by "Amtek" or "Brooks".
- Connection for control wires manufactured by "Pentite" or "3M" installed as per manufacturer's directions, and above grade in valve boxes.
- Gate valves shall be brass and installed in valve box.
- Automatic drain valves shall be installed in 1 cubic foot gravel.

2.2 COMPONENTS

- Control wire shall be direct burial # 14, type UF. Tape to underside of main every 10 feet. Install spare ground wire + 5 extra wires.
- Main line shall be class 200 PVC (ANSI/ASTM D2241).
- Lateral lines shall be class 160 PVC minimum (ANSI/ASTM D2241).
- Sleeve at all road and drive crossings shall be class 200 PVC.
- All pipe, connectors and misc. fittings for the meter and check valve assembly will be galvanized.
- All electrical work will conform to year construction N.E.C.

PART THREE - EXECUTION

3.0 EXAMINATION

Examine surfaces to which work will be applied and immediately notify landscape architect in writing if site is not in proper condition for Contractor to perform his duties under the terms of this contract.

3.1 PROTECTION

- Locate identify, and mark all known utilities in area of the work. Take reasonable care to avoid damages or hazards.
- Damage caused by Contractor's work will be repaired to Owner's satisfaction at Contractor's expense.
- Document any damage to work caused by other trades. Immediately bring costs to Owner's attention and quickly repair at Owner's expense, as directed.

3.2 PREPARATION

- Surface Preparation. Stake out each run of pipes, each head, and each valve.
- Test control wire for continuity before unreeling for installation.

3.3 INSTALLATION

- Keep pipe interior clean and dry at all times.
- Ensure a square cut at all joints and ream ends to a smooth finish, inside and out.
- Lay all runs greater than 100 feet from side to side on trench bottom in serpentine pattern.
- Support all pipe with clean, compact soil.
- Backfill and compact to original soil.
- Set heads plumb and flush with top of sod or mulch.
- For lateral lines flush all debris from lines. Open valve and screw on one head at a time, starting at valve and continuing to the end. Ensure that lines are watertight.

3.4 TOLERANCES

- Main line and drive crossings shall have 18 inches minimum cover.
- Lateral lines shall have 12 inches minimum cover.
- All heads shall be 4 inches minimum from walks, drives, or curbs.
- All pop-up heads and valve boxes shall be installed with top flush with grade.
- All heads shall be installed plumb.

3.5 FIELD TESTS

Apply 100 psi hydrostatic pressure to main lines for 120 minutes. If a leak is found, repair and retest until satisfactory.

3.6 ADJUSTMENTS

- Adjust sprinkler patterns and radius. Ensure uniform and sufficient coverage for optimum plant growth.
- No heads shall be allowed to spray walls, fences, walks, or drives.
- Set times to operate as appropriate for season, soil type, drainage, and plant requirements.

3.7 FIELD QUALITY CONTROL

- Landscape architect or Owner may conduct periodic inspections to determine that the terms of this contract are fulfilled.
- Contractor will be expected to participate with Owner in final inspection to review project for conformance to the contract. Items to be reviewed include, type, quantities, sizes, locations, dimensions, and quality of materials and workmanship.
- The Contractor will keep the premises free from accumulations of waste materials or rubbish caused by his employees or work at all times.

END OF SECTION



DALE & COMPANY

651 North Mills Avenue
Orlando, Florida 32803
Telephone (407) 894-1317

IRRIGATION DETAILS & SPECIFICATIONS FOR

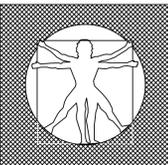
**DAYCARE SITE
WEKIVA RIVERWALK**

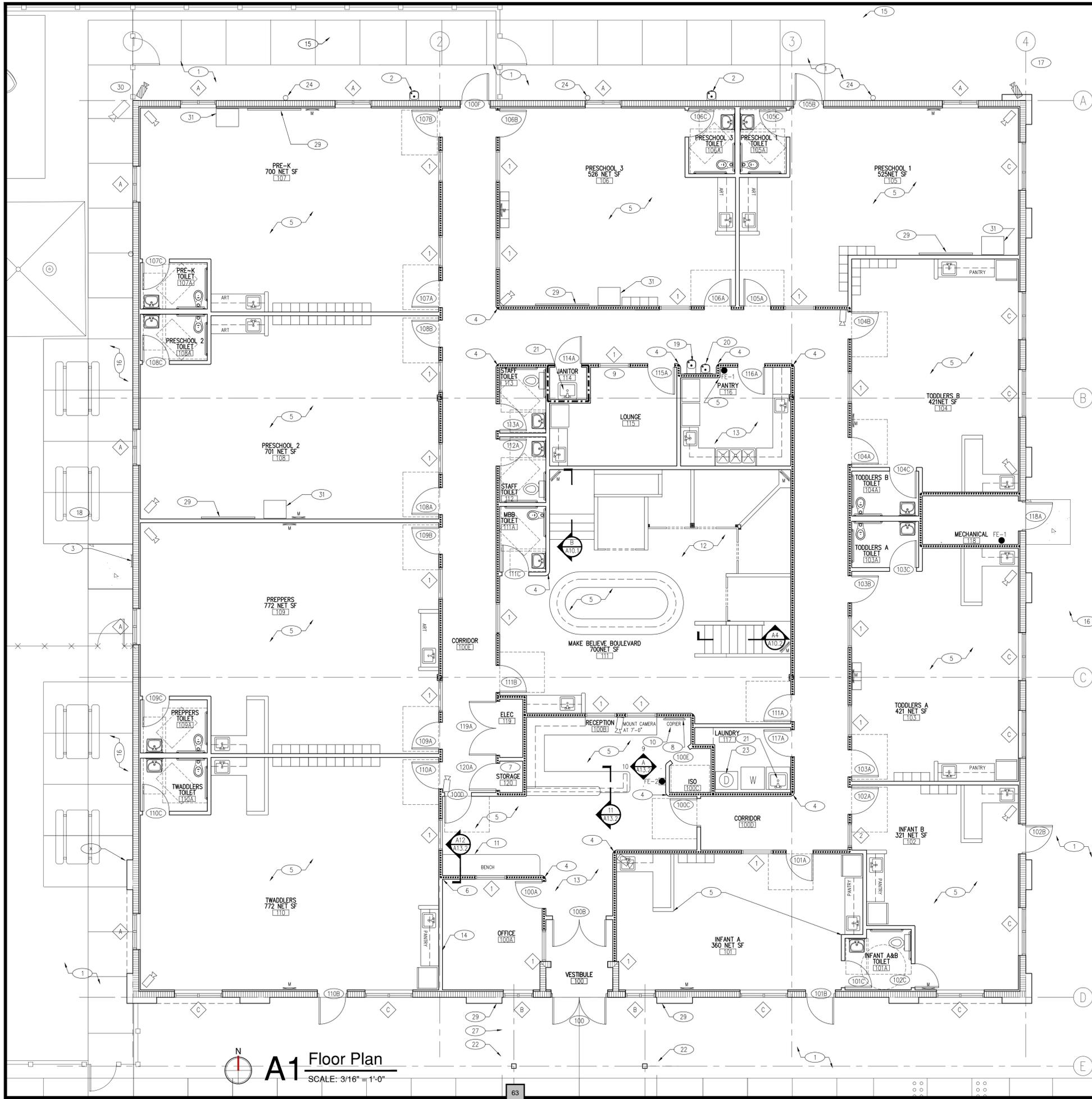
2121 EAST SEMORAN BLVD., APOPKA, FLORIDA 32703

DESIGNED BY: RCD
DRAWN BY: RSH
CHECKED BY: RCD
DATE: 01-08-16

REVISIONS
1. 01-25-16
2.
3.
4.
5.
6.

L-4 OF 4





A1 Floor Plan
SCALE: 3/16" = 1'-0"

GENERAL NOTES

1. SEE STRUCTURAL DRAWINGS FOR STRUCTURAL INFORMATION.
2. SEE SPECIFICATIONS FOR WASHER AND DRYER IN LAUNDRY ROOM.
3. ALL OUTSIDE CORNERS WITHIN CLASSROOMS AND MAKE BELIEVE BOULEVARD, SHALL HAVE 1" RADIUS CORNER BEADS. SEE KEY NOTE #5.
4. ALL ANGLE WALLS ARE 45 DEGREES.
5. UNLESS OTHERWISE NOTED, INTERIOR DIMENSIONS ARE DRAWN FROM CENTER LINE OF WALL, AND EXTERIOR DIMENSIONS ARE DRAWN FROM CENTER LINE OF WALL, AND EXTERIOR DIMENSIONS ARE DRAWN FROM FINISHED WALL TO CENTER OF OPENING.
6. COAT LOCKERS ARE SHOWN FOR AREA CALCULATION PURPOSES ONLY. ALL COAT LOCKERS TO BE PROVIDED BY GENERAL CONTRACTOR. EXACT LOCATIONS TO COORDINATE WITH "THE LEARNING EXPERIENCE".
7. PROVIDE MIRRORS FOR THE BLIND SPOTS IN THE ROOMS. LOCATIONS SHOWN ARE APPROXIMATE. EXACT NUMBER AND LOCATIONS TO BE COORDINATED WITH "THE LEARNING EXPERIENCE".
8. SEE DRAWINGS A-1.2 FOR WALL TYPES.
9. SEE DRAWINGS A-11.1 & A-11.2 FOR TOILET ROOM PLANS.
10. REFER TO WINDOW SCHEDULE FOR WINDOWS, SEE DRAWING A-12.2.
11. REFER TO DOOR SCHEDULE FOR DOORS, SEE DRAWING A-12.2.
12. SEE DRAWING A-13.1 FOR DIAPER COUNTER, ART COUNTER, ENLARGED PANTRY PLANS AND DETAILS.
13. SEE DRAWING A13.1 FOR BOOK SHELF AND MAT RACK HOLDER DETAILS. THESE PIECES ARE NOT SHOWN ON THE FLOOR PLAN FOR CLARITY. COORDINATE WITH T.L.E. FOR LOCATIONS.
14. SEE DRAWING C-1 FOR OUTSIDE PLAYGROUND EQUIPMENT, AWNINGS, PICNIC TABLES & FENCE INFORMATION.
15. THE ENTIRE BUILDING SHALL BE THOROUGHLY CLEANED, INCLUDING WAXING (5-7 COATS) & POLISHING (HIGH GLOSS SHINE) AT THE COMPLETION OF CONSTRUCTION.
16. ALL EXTERIOR DOOR HARDWARE TO MEET THE LEARNING EXPERIENCE REQUIREMENTS. SEE DRAWING A12.1.

PLAN KEY NOTES

- 1 5' CONCRETE SIDEWALK- SEE CIVIL DRAWINGS BY OTHERS FOR FINISHES AND DETAILS
- 2 DRINKING FOUNTAIN, SEE DRAWING C-1 FOR HEIGHTS
- 3 ROOF ACCESS- SEE ROOF PLAN & EXTERIOR ELEVATIONS
- 4 PITCON 6" R SO LRT OUTSIDE CORNER WITH TANGENT FINIS BY SOFTFORMS. SEE DETAIL 4 ON A9.1
- 5 1" RADIUS CORNER BEAD REQUIRED AT ALL CORNERS. SEE DETAILS 2 AND 3 ON A9.1.
- 6 PROVIDE (2) WALL MOUNTED BRACKETS. SEE DETAIL 4 ON A13.2
- 7 PROVIDE (5) ADJUSTABLE 16" WIRE SHELVES IN THE CLOSET
- 8 PROVIDE 19" FLAT LCD TV WITH BUILT IN DVD PLAYER, SEE SPECS. MOUNT ON WALL WITH EASYMOUNT. LOCATION TO BE COORDINATED WITH T.L.E.
- 9 LAMINATOR- BY TLE
- 10 PRINTER/ COPIER- BY TLE
- 11 BENCH SEAT. SEE DETAIL 10 ON A13.2
- 12 SEE DRAWINGS A10.1 FOR MAKE BELIEVE BOULEVARD ENLARGED FLOOR PLAN
- 13 SEE DRAWINGS A-13.2 FOR RECEPTION AREA AND MAIN PANTRY ENLARGED PLANS AND DETAILS
- 14 FAX - BY TLE.
- 15 AWNINGS AT PLAY AREA. SEE DWG. C-1 FOR DETAILS.
- 16 LANDSCAPED AREA, REFERENCE CIVIL SITE DRAWINGS
- 17 3'-0" WIDE X 6'-0" HIGH GATE WITH MAGNA LATCH INSTALLED WITHIN THE PLAYGROUND. WITH NO ACCESS FROM OUTSIDE.
- 18 3'-0" WIDE X 4'-0" HIGH GATE.
- 19 DRINKING FOUNTAIN, 3'-3" TO TOP OF SPOUT FROM A.F.F., SEE 6/A-11.1 FOR DETAIL.
- 20 DRINKING FOUNTAIN, 2'-6" TO TOP OF SPOUT FROM A.F.F., SEE 6/A-11.1 FOR DETAIL.
- 21 PROVIDE/INSTALL WIRE SHELVING IN LAUNDRY OVER SINK AND WASHER AND ABOVE JANITOR SINK.
- 22 T.L.E. ALPHABET/NUMBER BLOCKS (SEE SHEET A-14.1)
- 23 WATER HEATER ABOVE (SEE PLUMBING DRAWINGS).
- 24 DOWN SPOUTS MUST CONNECT TO UNDERGROUND DRAINAGE SYSTEM, CAN NOT DRAIN ONTO SIDEWALKS.
- 25 NOT USED ON THIS PROJECT - WINDOW AWNING ABOVE (SEE REQUIRED VENDORS)
- 26 NOT USED ON THIS PROJECT - METAL STUD FRAMED WALL (SEE STRUCTURAL DWGS)
- 27 COVERED ENTRY ABOVE
- 28 NOT USED ON THIS PROJECT - RECESS IN WALL, SEE ELEVATION.
- 29 SMARTBOARD
- 30 3'-0" WIDE X 6'-0" HIGH GATE WITH MAGNA LATCH INSTALLED ON EACH SIDE.
- 31 PEDESTAL

LEGEND

TYPE	DESCRIPTION
	SECTION OR ELEVATION NUMBER SHEET DRAWN ON
	KEY NOTE NUMBER
	ROOM NAME AND NUMBER
	DOOR NUMBER- SEE A-12.1
	WINDOW NUMBER- SEE A12.2
	EQUALS THE NUMBER OF CUBBIES OF BIN CUBBIES OR COAT CUBBIES PROVIDED - SEE DWG A13.1
	MIRROR FOR BLIND SPOT, MOUNT 6" FROM CEILING, SEE GEN NOTE #7. MOUNT FLUSH TO CEILING IN MAKE BELIEVE BOULEVARD.
	EXTERIOR CMU WALL W/ STUCCO FINISH - SEE A7.1
	EXTERIOR WALL MOUNTED CAMERA - SEE CAMERA NOTES BELOW
	CEILING MOUNTED CAMERA. INSTALL CAMERAS TO ENSURE ADEQUATE COVERAGE. PROVIDE ADDITIONAL CAMERAS TO ELIMINATE BLIND SPOTS. EXTERIOR CAMERAS TO BE INSTALLED IN EACH PLAYGROUND. EXACT QUANTITY & LOCATIONS TO BE COORDINATED WITH "THE LEARNING EXPERIENCE". SEE SPECIFICATIONS.
	FLAT TV, SEE SPECIFICATIONS
	FIRE EXTINGUISHER, WALL HUNG, BRACKET 1=58"C, 2=10A:B:C VERIFY TYPE, SIZE AND LOCATION WITH FIRE MARSHALL
	FIRE EXTINGUISHER, RECESSED CABINET, BRACKET 1=58"C, 2=10A:B:C VERIFY TYPE, SIZE AND LOCATION WITH FIRE MARSHALL
FIRE SEPARATION LEGEND	
	1-HOUR
	SMOKE PARTITION



6699 13th Avenue North, Suite 4A
St. Petersburg, FL 33710
(727) 381-5220
(727) 381-0052 fax

Schematic Design

Signature _____ Date _____

The Learning Experience
Daycare Center

Project Location:
Wekiva Riverwalk Shopping Center
2121 East Semoran Boulevard
Apopka, FL 32703

REVISIONS

No.	Date	Revision

Drawn By: DL
Checked By: SV

Floor Plan

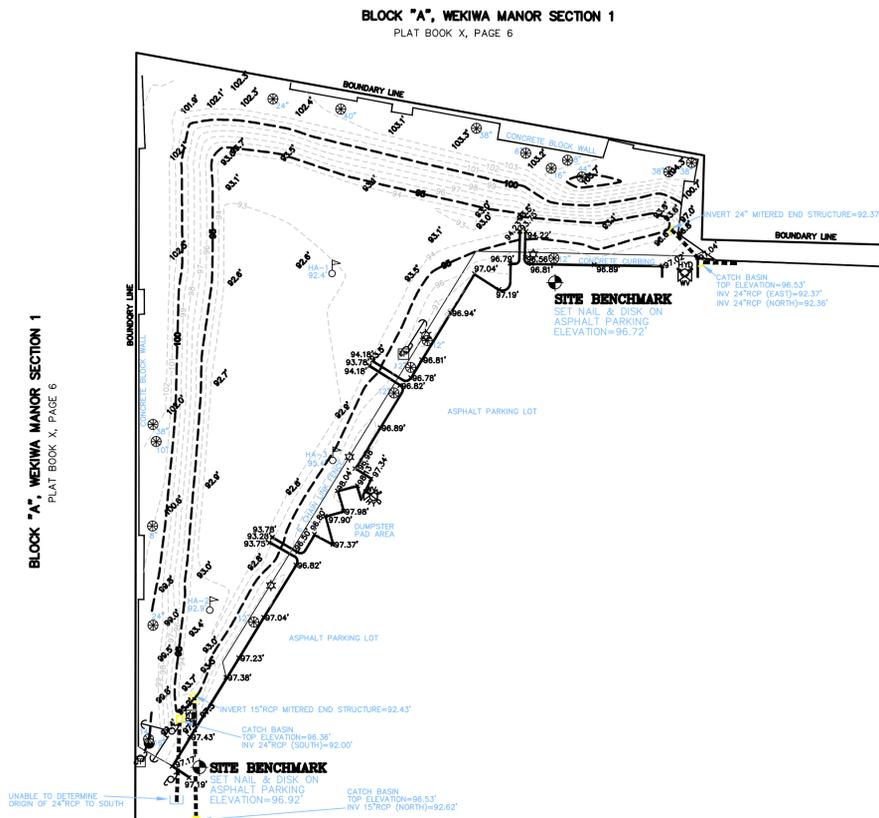
A1.1

Project: 16005
Date: January 26th, 2016

NORTHWESTERLY POND DETAIL "B"



BLOCK "A", WEKIWA MANOR SECTION 1
PLAT BOOK X, PAGE 6

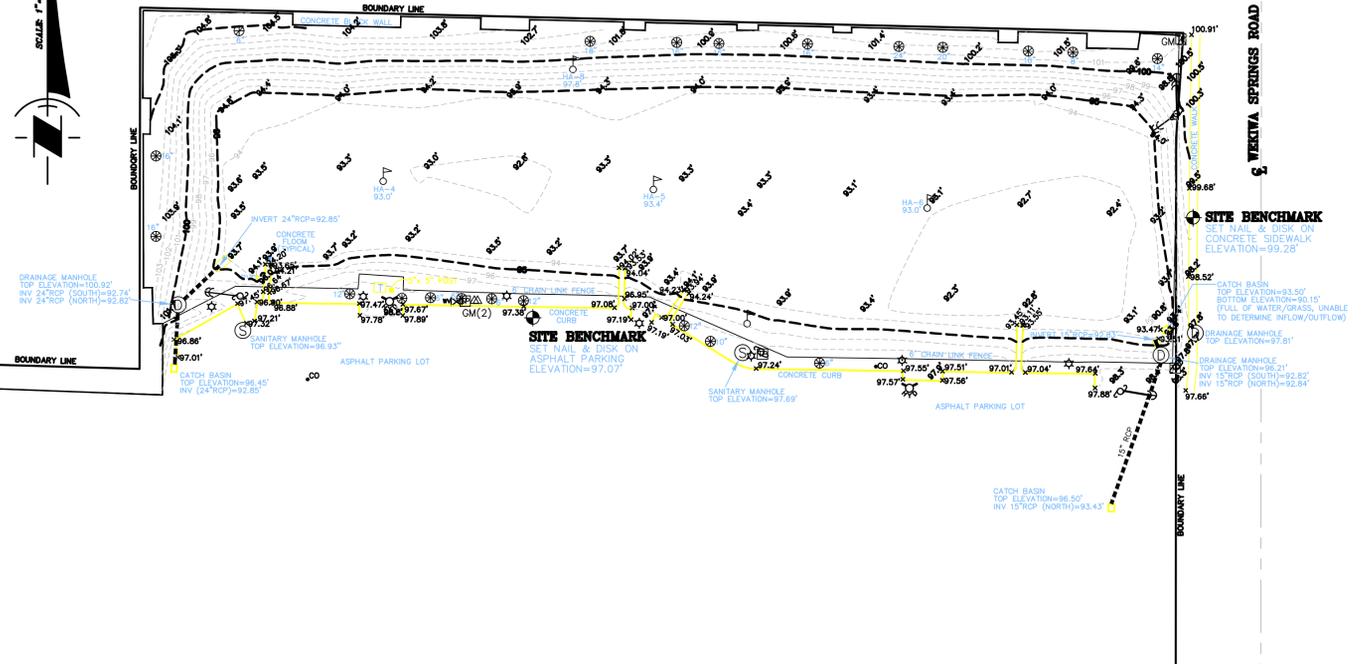


BLOCK "A", WEKIWA MANOR SECTION 1
PLAT BOOK X, PAGE 6

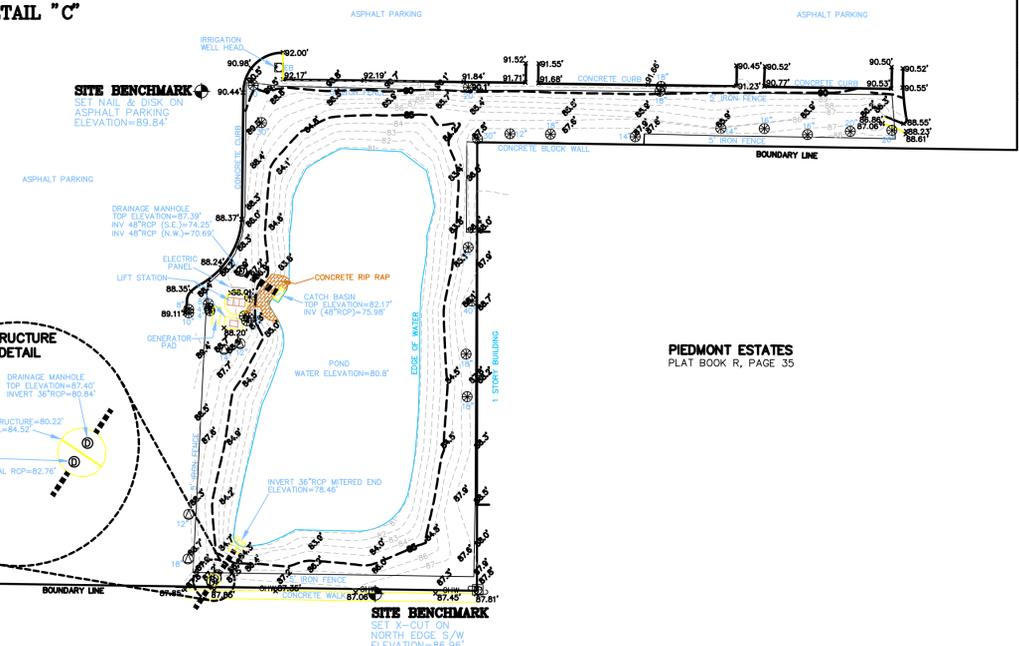
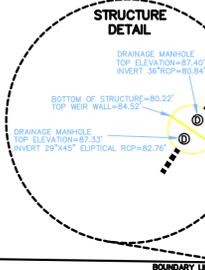
NORTHEASTERLY POND DETAIL "A"



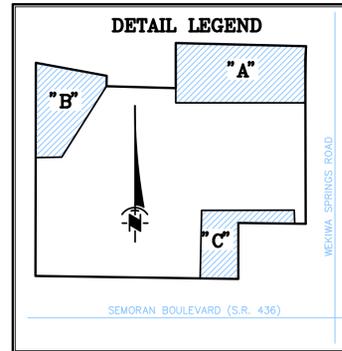
PIEDMONT ESTATES
PLAT BOOK R, PAGE 35



SOUTHERLY POND DETAIL "C"



PIEDMONT ESTATES
PLAT BOOK R, PAGE 35

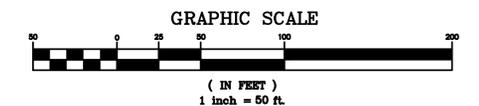


SURVEYOR'S NOTES

- ELEVATIONS ARE BASED ON AN ORANGE COUNTY BENCHMARK BEING A RECOVERED ALUMINUM DISK STAMPED S-99-2018 ON THE WEST SIDE OF PIEDMONT WEKIWA ROAD. ELEVATION = 88.279 (NAVD '88).
- UNLESS OTHERWISE NOTED OR SHOWN HEREON, UNOBSTRUCTED, ABOVE GROUND IMPROVEMENTS WERE LOCATED. UNDERGROUND IMPROVEMENTS, SUCH AS FOUNDATIONS AND UTILITIES WERE NOT LOCATED.
- THE PURPOSE OF THIS SURVEY IS TO SHOW TOPOGRAPHIC INFORMATION AND FEATURES ON THE THREE AREAS SHOWN AS REQUESTED BY THE CLIENT.
- THIS TOPOGRAPHIC SURVEY IS NOT VALID UNLESS IT BEARS THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER IDENTIFIED BELOW.

LEGEND

---○---	DENOTES SITE BENCHMARK	---○---	DENOTES BOTTOM OF PIPE
---○---	DENOTES SOIL BORING LOCATION	---□---	DENOTES CONCRETE BLOCK WALL
---○---	DENOTES CLEANOUT	---□---	DENOTES CONCRETE CURB
---○---	DENOTES STORM MANHOLE	---□---	DENOTES CONCRETE RETAINING WALL
---○---	DENOTES SANITARY MANHOLE	---□---	DENOTES CORRUGATED METAL PIPE
---○---	DENOTES 0.9' X 0.9' CONCRETE LIGHT POLE	---□---	DENOTES DUMPSTER PAD
---○---	DENOTES UTILITY POLE	---□---	DENOTES ELECTRIC BOX
---○---	DENOTES VALVE	---□---	DENOTES GAS LINE MARKER
---○---	DENOTES RIPRAP SURFACE	---□---	DENOTES IRRIGATION CONTROL VALVE
---○---	DENOTES TRANSFORMER	---□---	DENOTES INVERT
---○---	DENOTES CENTERLINE	---□---	DENOTES LIFT STATION
---○---	DENOTES OAK TREE	---□---	DENOTES POLYVINYL CHLORIDE PIPE
---○---	DENOTES ELM TREE	---□---	DENOTES RECLAIMED WATER VALVE
---○---	DENOTES PALM TREE	---□---	DENOTES TELECOMMUNICATIONS RISER
		---□---	DENOTES VALVE BOX
		---□---	DENOTES WATER VALVE
		---□---	DENOTES WATER METER



TOPOGRAPHIC SURVEY

SECTION 12 - 21 - 28
SEMINOLE COUNTY, FLORIDA

NO.	DATE	REVISIONS	BY	NO.	DATE	REVISIONS	BY

I hereby affirm that this survey represented hereon is true and correct to the best of my knowledge and belief. It has been prepared in accordance with the Standards set forth in Chapter 0107, F.A.C., pursuant to Chapters 177 and 472, Florida Statutes. Unless it bears the signature and the original raised seal of a Florida licensed surveyor and mapper this drawing, sketch, plot or map is for informational purposes only and is not valid.

P.L.S.#: 5944
RICK J. TRAVIS

FIELD BY: JTravis
DRAWN BY: WCG
SCALE: 1"=50'

DATE OF SURVEY: 11/8/2012
ORDER NO. T12812
SHEET 1 OF 1

Tinklepaugh
SURVEYING SERVICES, INC.
850 COURTLAND STREET, SUITE A-2, ORLANDO, FL 32804
Tele. No. (407) 282-0967 Fax No. (407) 679-6916
LICENSED BUSINESS No. 3778

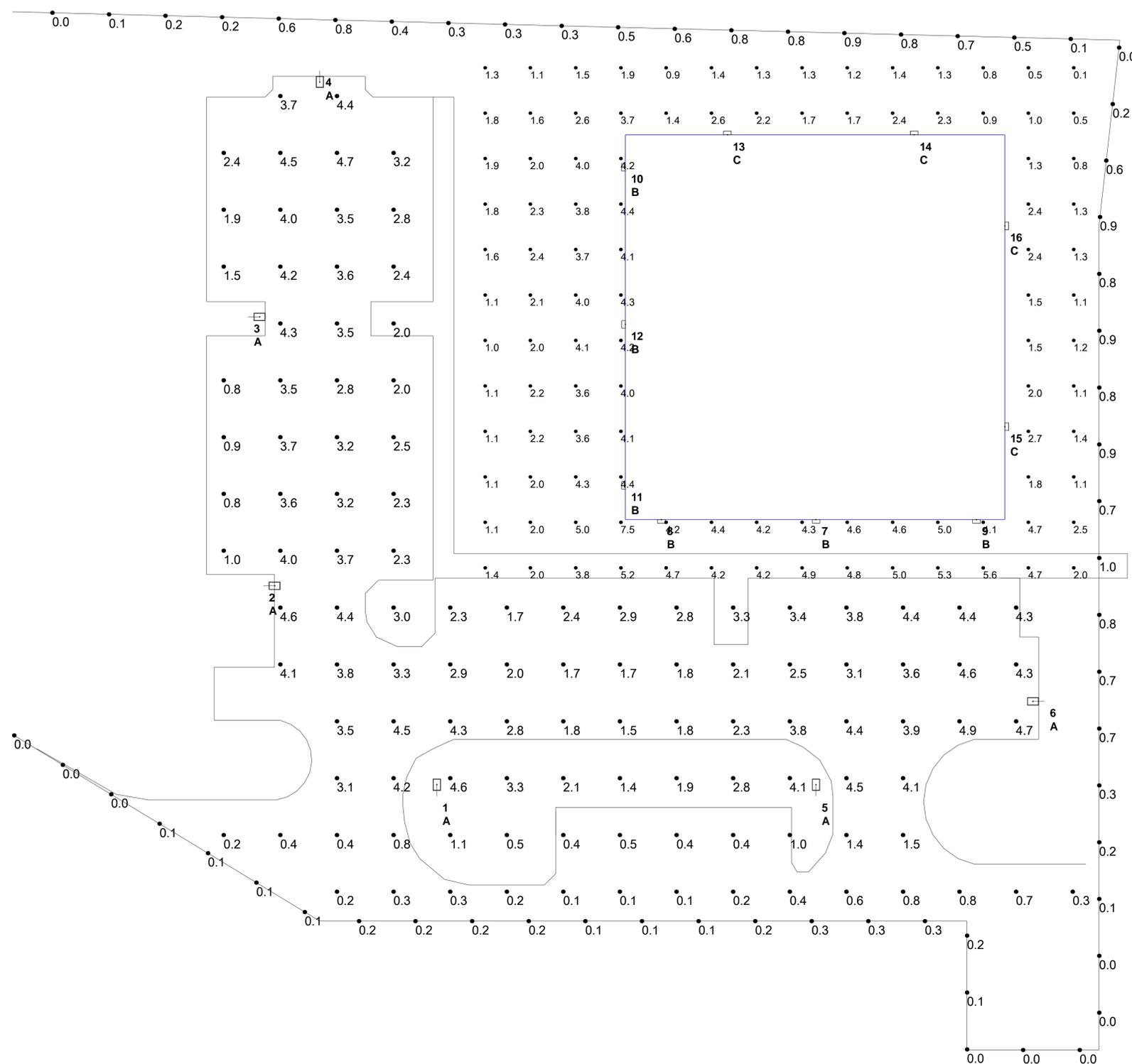
Project:

**WEKIVA
 RIVERWALK
 PARKING**

Notes:

FILE:
 wekiva.agi

Date:
 1-11-16



Symbol	Qty	Label	Lumens/Lamp	Arrangement	LLF	Description
□	6	A	N.A.	SINGLE	0.900	LSBW-4-C-8-T3-B-LEDOPTIC-W-FOUR BRICK TYPE 3 850MA LED
□	6	B	N.A.	SINGLE	0.900	LHMWP-1-C-8-T3-F-ONE BRICK TYPE 3 1400MA LED WALL PACK
□	4	C	N.A.	SINGLE	0.900	LHSWP-1-C-4-T3-F-ONE BRICK TYPE 3 1400MA LED WALL PACK

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
BUILD EXTERIOR	Illuminance	Fc	2.65	7.5	0.1	26.50	75.00
PARKING AND DRIVE	Illuminance	Fc	2.50	4.9	0.1	25.00	49.00
PROP LINE	Illuminance	Fc	0.36	1.0	0.0	N.A.	N.A.

LumNo	Label	Z	Tilt
1	A	20	0
2	A	20	0
3	A	20	0
4	A	20	0
5	A	20	0
6	A	20	0
7	B	13	0
8	B	13	0
9	B	13	0
10	B	13	0
11	B	13	0
12	B	13	0
13	C	13	0
14	C	13	0
15	C	13	0
16	C	13	0

- Notes:
1. Calculation at grade.
 2. Based on 20' AFG pole mntg/13' AFG bldg mnt.
 3. Site dimensions and scale are approximate.



- DUE TO CHANGING LIGHTING ORDINANCES IT IS THE CONTRACTORS RESPONSIBILITY TO SUBMIT THE SITE PHOTOMETRICS AND LUMINAIRE SPECS TO THE LOCAL INSPECTOR BEFORE ORDERING TO ENSURE THIS PLAN COMPLIES WITH LOCAL LIGHTING ORDINANCES.
 - THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS. CHANGES IN ELECTRICAL SUPPLY, AREA GEOMETRY AND OBJECTS WITHIN THE LIGHTED AREA MAY PRODUCE ILLUMINATION VALUES DIFFERENT FROM THE PREDICTED RESULTS SHOWN ON THIS LAYOUT.
 - THIS LAYOUT IS BASED ON .IES FILES THAT WERE LAB TESTED OR COMPUTER GENERATED. ACTUAL RESULTS MAY VARY.



D1 Front Elevation
SCALE: 3/16" = 1'-0"

- 23'-2" A.F.F. TOP OF UPPER PARAPET
- 20'-2" A.F.F. TOP OF MIDDLE PARAPET
- 18'-2" A.F.F. TOP OF LOWER PARAPET
- 7'-4" A.F.F. TOP OF WINDOW
- 3'-4" A.F.F. BOTTOM OF WINDOW
- 0'-0" A.F.F.

- ### ELEVATION KEY NOTES
- 01 SMOOTH STUCCO- PAINT
COLOR: LEMON ICE 2024-70
MANUFACTURER: BENJAMIN MOORE
 - 02 ROUGH STUCCO- PAINT
COLOR: ACORN YELLOW 2161-40
MANUFACTURER: BENJAMIN MOORE
 - 03 STUCCO BANDING- PAINT
COLOR: WHITALL BROWN HC-69
MANUFACTURER: BENJAMIN MOORE
 - 04 HARD COATED DECORATIVE ACCENT- PAINT
COLOR: WHITE
STUCCO FINISH: SMOOTH
MANUFACTURER: ARCHITECTURAL FOAM SUPPLY
 - 05 HARD COATED DECORATIVE FOAM TRIM (6")- PAINT
COLOR: WHITE
STUCCO FINISH: SMOOTH
MANUFACTURER: ARCHITECTURAL FOAM SUPPLY
 - 06 1: STUCCO REVEAL
COLOR: TO MATCH ADJACENT WALL
 - 07 EXTERIOR WALL SCONCE (REFER TO ELECTRICAL)
COLOR: WHITE
 - 08 TILE SIGNAGE ILLUMINATED
BY OWNER UNDER SEPARATE PERMIT
SEE REQUIRED VENDOR
 - 09 TILE SIGNAGE (ALPHABET BLOCKS)
SEE REQUIRED VENDOR
 - 10 PRE ENGINEERED FABRIC CANOPY
 - 11 ALUMINUM WINDOW
ANODIZED ALUMINUM WITH IMPACT GLAZING
 - 12 HOLLOW METAL DOOR
COLOR: WHITE
MANUFACTURER: BENJAMIN MOORE
 - 13 8" WHITE DECAL NUMBERS FOR BUILDING ADDRESS
 - 14 HARD COATED DECORATIVE FOAM BAND,
COLOR: WHITE
STUCCO FINISH: SMOOTH
MANUFACTURER: ARCHITECTURAL FOAM SUPPLY
 - 15 HARD COATED DECORATIVE ACCENT
COLOR: WHITE
STUCCO FINISH: SMOOTH
MANUFACTURER: ARCHITECTURAL FOAM SUPPLY
 - 16 ROOF LADDER ASSEMBLY BY CONTRACTOR - BASIS OF DESIGN IS PRECISION
LADDER COMPANY FIXED LADDER WITH WALKTHRU. PROVIDE SAFETY GATE PER
NOTE 17. DELEGATED ENGINEER TO PROVIDE DRAWINGS, CALCULATIONS AND
CONNECTION TO STRUCTURE PER STRUCTURAL SPECIFICATIONS ON SHEET S101.
 - 17 7'-0" TALL ALUMINUM SECURITY GATE BY PRECISION LADDERS
-WWW.PRECISIONLADDERS.COM



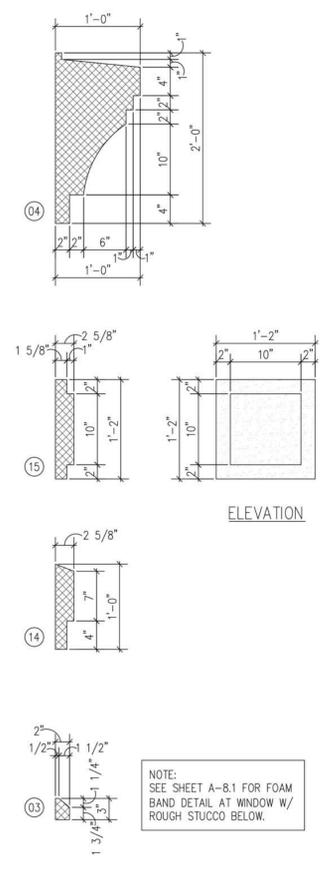
C1 Rear Elevation
SCALE: 3/16" = 1'-0"



B1 Side Elevation
SCALE: 3/16" = 1'-0"



A1 Side Elevation
SCALE: 3/16" = 1'-0"



A5 Hard Coated Foam Dets.
SCALE: 1" = 1'-0"

Schematic Design

Signature _____ Date _____

The Learning Experience
Daycare Center

Project Location:
Wekiva Riverwalk Shopping Center
2121 East Semoran Boulevard
Apopka, FL 32703

REVISIONS		
No.	Date	Revision

Drawn By: DL
Checked By: SV

Elevations

A5.1



January 27, 2016

Att: Jim Hanson, Woolbright Development

Re: Drop off and pick up areas for child care centers

Dear Mr. Hanson,

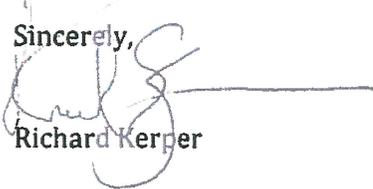
I understand a drop off and pick up area is a code requirement for the City of Apopka. The Learning Experience does not provide such an area for numerous reasons. Each parent parks their vehicle within the TLE parking area and brings their child into the center. The child is checked in at the reception counter and the parent then brings their child to their respective classroom. The reverse of this occurs at pick up as well. This process averages from 5 -8 minutes.

The biggest reason why TLE does not use the drop off and pick up system is child safety. For example, there is a huge operational issue and liability issue when our staff becomes responsible for securing a child in their car seat at pick up. At drop off, there are times during the day when there is a high volume of traffic. This would create a significant traffic back up in the parking lot whereby if a parent had to go inside to ask a question, make a payment or bring in a lunch, the parent and child (or children) would possibly have to walk in between active cars in a car line. In order to support such a drop off and pick up scenario, the amount of staff necessary to meet the minimal safety needs of the children and parents would be much greater and cost prohibitive. Furthermore, from an operation and philosophical view, we want parents to go into the center to drop off their children as well as pick them up. These are young children that need to transition away from their parent in the morning. For a teacher or staff member to pull the child out of the car is often traumatic from both the child and the parent, notwithstanding the children that suffer from separation anxiety.

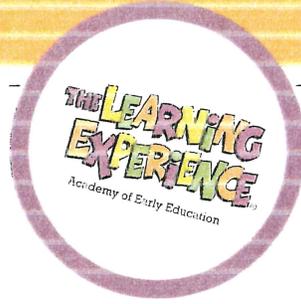
Overall, The Learning Experience operates over 150 child care centers nationwide and the principals of the company have been involved with over 400 centers in their 30 plus years in the childcare industry. During this period, to my knowledge they have never designed, developed or operated a center using a drop off or pick up area.

Please let me know if you have any questions or require additional information.

Sincerely,



Richard Kerper



Traffic – Each parent parks their vehicle within the TLE parking area and brings their child into the center, checks them in at the reception counter, and then brings their child to their designated classroom. The reverse of this occurs at pick up as well. This averages from 5 minutes to 8 minutes.

- During drop off (average 5 minutes) generally between 6:30 am to 9:30 am
- During pick up (average 8 minutes) generally between 4:00 pm to 6:30 pm

Outline of Estimated Traffic

Traffic during drop off (average 5 minutes):

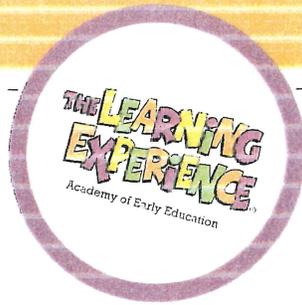
- 6:30am-7:00am (11 children)
- 7:00am-7:30am (28 children)
- 7:30am-8:00am (43 children)
- 8:00am-8:30am (43 children)
- 8:30am-9:00am (29 children)
- 9:00am-9:30am (29 children)

Calculations based on a center with the capacity of 183

Traffic during pick up (average 8 minutes):

- 3:30pm-4:00pm (11 children)
- 4:00pm-4:30pm (28 children)
- 4:30pm-5:00pm (43 children)
- 5:00pm-5:30pm (43 children)
- 5:30pm-6:00pm (29 children)
- 6:00pm-6:30pm (29 children)

Calculations based on a center with the capacity of 183



Following is some specific information regarding our Operations:

Hours of Operation

- 6:30am-6:30pm (12 hours per day)
- Activities on nights & weekends (Open Houses, parties, etc.)

Size of the building

- 10,000 square ft. building typical

Size of playground

- 5,000 square ft. typical
- 13,500 – 13,875 square ft. (CA)

Overall average enrollment

- 80% Occupancy

Capacity of the center

- 180-185 children

Children Diapered/Potty Trained

- Average center: 40 children diapered, 38 children potty training, 105 children non-diapered

Part time children attendance

- Typical center has 25% part time children

Part time schedules

- Schedules vary (am students to pm students, 1-5 day schedules)

Families with siblings

- Approximately 20% have 1 or more siblings that will attend

Absenteeism rate

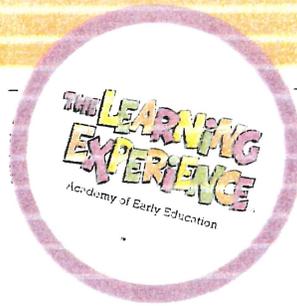
- Approximately 8% - 12%

Number of employees

- Approximately 24 staff at any one time total for an 10,000 square foot building, typical
- 30% Part Time (7 of the 24 employees)

Number of parking spots

- 40 parking spots typically required



From: Cheryl Hanenberg
Vice President of Center Development

As per your inquiry, following is information regarding The Learning Experience and our operations. If you have any questions, please contact me.

The Learning Experience® (TLE), has child development centers throughout the United States. Our secure centers offer premier child care to children ages six weeks to five years: infants - toddlers - twaddlers - preppers - preschoolers - pre K - kindergarten and after school care for children up to eight years of age at most of our centers.

The Learning Experience® is not just a daycare facility but also a complete child development center. We welcome you to visit any one of our dynamic and fun environments to see for yourself why TLE is different ... how committed we are to quality care and intellectual child development education of your child.

You want the best for your child... so do we! Our Charlie Choo Choo® Enrichment Programs: Marvelous Math®, Start to Art®, Suddenly Science®, Movin' n Groovin'®, Dancing Feet®, Music 4 Me® and Talent Sprouts® introduces children to the performing arts through a variety of activities involving all aspects of performance.

The Learning Experience® believes that each child deserves to grow and learn at his or her own pace. Our diverse curriculum includes: L.E.A.P® 1, L.E.A.P® 2, Little Learners™ and Fun with Phonics®. Our responsibility is to establish a strong foundation for your child in a fun and exciting environment.

TLE is one of the most comprehensive franchise business opportunities in child care today. It is one of the few childcare operators in the country where management has direct hands on experience with the day to day operations of the business.